



ASSESSMENT AGAINST THE CRITERIA IN THE PLANNING SCHEME 2016:
CAIRNS REGION

Address: 60 Brett Avenue, Healy
Legal description: Lot 61 on MPH40093
Development: Building Work requiring Code Assessment - Shed

This application for Building Work requiring Code Assessment over land described as Lot 61 on MPH40093, situated at 60 Brett Avenue, Healy. The proposed development is Code Assessable. The site is located in the Low-Density Residential Zone.

Zone	Development Type	Level of Assessment
Low-Density Residential	Building Work requiring Code Assessment	Code Assessable

The Site and Locality

The allotment subject of the application has the following areas:

- Lot 61 857m²

The site contains a single-detached Dwelling House and ancillary outbuildings.

Proposed Building Work requiring Code Assessment

The proposed Building Work requiring Code Assessment is for the new construction of a Shed at the rear of the subject site. The area of the proposed Shed is 112m². The proposed Shed does not comply with Section 9.3.6 (AO22.1) of the Mount Isa City Planning Scheme which requires that domestic outbuildings as an Acceptable Outcome are not in excess of 100m² in size. The proposal can meet the requirements of the applicable Performance Outcomes. The Assessment Manager's timely consideration to allow this matter to be finalised is sought.

Planning Act 2016

The adopted Mount Isa City Planning Scheme¹ is an Existing Planning Scheme as provided by the *Planning Act 2016*. The Planning Scheme has been endorsed by the Queensland State Government as appropriately reflecting the following State Planning Policies:

- Liveable communities and housing
- Economic growth
- Environment and Heritage
- Hazards and safety
- Infrastructure

In this regard, it is not proposed to address the State Planning Policies in this application. The proposed development is not impacted by the Hazards and Safety State Planning Policy (Coastal Hazards – Erosion Prone Areas). As such, it is not considered applicable to assess this application against the Coastal Hazards provisions of the Hazards and Safety State Planning Policy.

Mount Isa City Planning Scheme 2020

Under the Mount Isa City Planning Scheme 2020, the site has the following designations/ classifications: -

Zone - Low-Density Residential Zone

Level of Assessment: - Code Assessable

The Assessment Table for the Low-Density Residential Zone provides a guide to the applicability of Codes. The Codes which potentially apply to a development application for Building Work requiring Code Assessment are identified in the Table below, together with comment on the applicability of the Codes to the proposal and to the particular site and on whether or not the identified Codes are addressed in detail in this Report.

<i>Code</i>	<i>Designation Information</i>	<i>Applicability</i>
<i>Zone Code</i>		
Low-Density Residential Zone code	The Code is not applicable.	The Table of Assessment identifies that the proposal does not trigger the Code. The Code is not addressed.
<i>Land Use Code</i>		
Residential Activities Code	The Code is applicable.	The Code is addressed in the following section.
<i>Overlay Codes</i>		
<i>None applicable.</i>		
<i>Other Development Codes</i>		
<i>Parking, access and loading code</i>	The Code is applicable.	The Code is addressed in the following section.
<i>Landscaping code</i>	The Code is applicable.	The Code is addressed in the following section.
<i>Excavation and filling code</i>	The Code is applicable.	The Code is addressed in the following section.
<i>Engineering works and services code</i>	The Code is applicable.	The Code is addressed in the following section.

Provisions of the Relevant Codes

The provisions of the Codes relevant to this application are addressed in the following section.

Residential activities code

9.3.6.1 Application

This code applies to:

- (1) accepted development subject to requirements and assessable development identified as requiring assessment against the Residential activities code in the tables of assessment in Part 5 of this Planning Scheme; and
- (2) impact assessable development for a *residential activity* listed in Schedule 1.1 or an undefined use of a similar nature.

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3, in Part 5.

9.3.6.2 Purpose

The purpose of the Residential activities code is to ensure that *residential activities* are appropriately located, meet the needs of the community, are designed to be consistent with the intended character and amenity of the locality, and does not adversely impact on surrounding land uses and the natural environment.

The purpose of this code will be achieved through the following overall outcomes:

- (1) Development is commensurate with the purpose and overall outcomes of the zone in which it is located.
- (2) Development facilitates a high level of residential amenity.
- (3) Development does not adversely affect the operation of existing nearby land uses.
- (4) Development is located on a site that is suitable for a *residential activity*.
- (5) Development is of a density and scale that is compatible with, and complementary to, the character of the surrounding area.
- (6) *Development* is designed to complement and be sympathetic to the built form character and environment of the surrounding area.
- (7)
- (8) Development contributes positively to the local streetscape.
- (9) Development is supported by open space, both private and public, to meet the recreation needs of residents and visitors;
- (10) Development has appropriately designed and constructed vehicle and active transport access.
- (11) Traffic that is generated by development is within the capacity of the road system, and consistent with the types of traffic and frequency of traffic movement, that exists on the road system prior to development.

9.3.6.3 Assessment benchmarks

Table 9.3.6.1 – Residential activities code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

Performance outcomes	Acceptable outcomes	Comment
Amenity and safety		
PO 1 Development does not adversely impact on the amenity of surrounding land uses or existing residential character.	AO 1.1 Air-conditioning equipment and other plant and equipment is to be located behind the <i>front building line</i> , and screened to reduce visibility and noise.	Complies. The proposed development comprises a domestic shed ancillary to the existing dwelling house. No air-conditioning equipment or plant is proposed that would adversely impact the amenity of neighbouring allotments. The proposal maintains the existing residential character of the area.
PO 2 Outdoor lighting maintains the amenity of the surrounding area and enhances safety without creating obtrusive light emissions either directly or by reflection.	AO 2.1 Outdoor lighting is designed, installed, operated and maintained in accordance with the parameters and requirements of <i>AS4282- Control of the Obtrusive Effects of Outdoor Lighting</i> .	Complies. Any lighting associated with the shed will be installed in accordance with the applicable Australian Standards and is not expected to create obtrusive light impacts upon adjoining residential properties.
PO 3 Development addresses the street, facilitates casual surveillance of the street and provides for safe pedestrian access.	AO 3.1 The main entry door is located on the building façade that faces the <i>primary road frontage</i> AO 3.2 There are windows on all building facades that face a street.	Complies. The existing dwelling house continues to address Brett Avenue and provide casual surveillance of the street. Complies. The proposed development will not alter the orientation or function of the dwelling house.
Built form, character, design, and scale		

PO 4 Development is designed and located to: (a) enhance the character of the area; and (b) integrate with other existing uses; and (c) provide for and maintain a sense of open space between buildings and other structures; and (d) not create adverse impacts on <i>adjoining premises</i>; and (e) be of a height, size, bulk and form consistent with the existing or preferred character of the zone; and (f) avoid reducing privacy; and (g) avoid increasing overshadowing of <i>adjoining premises</i>.	AO 4.1 Buildings and other structures are <i>setback</i>: (a) in the Rural residential zone, a minimum 30 metres from any <i>road frontage</i>; or (b) in the Rural zone, a minimum 200 metres from any <i>road frontage</i>; or (c) In the Low impact industry and Medium Impact Industry zone: • 10 metres from any <i>road frontage</i> to the Barkly Highway; or • 6 metres from any other road frontage; or (d) In the Local centre zone, in accordance with Table 9.3.1.3 – Local centre zone road and boundary setbacks; or (e) In the Principal centre zone, in accordance with Table 9.3.1.4 – Principal centre zone road and boundary setbacks; or (f) in any other zone, a minimum 6 metres from any <i>road frontage</i>. AO 4.2 Buildings and other structures comply with the minimum <i>setbacks</i> from the side and rear boundaries set out in Table 9.3.6.3 Residential activities - minimum road and boundary setbacks.	Complies. The proposed shed is located behind the primary dwelling and does not encroach into the required front setback. Does not comply. Table 9.3.6.3 of the Residential Activities Code requires that, for allotments with a width of 20 metres or greater, buildings are setback a minimum of 1.2 metres from side boundaries and 1.5 metres from rear boundaries. The proposed shed is setback approximately 600mm from the southern side boundary and 1.5 metres from the western rear boundary. While the rear boundary setback complies with the Acceptable Outcome, the side boundary setback does not achieve the required 1.2 metre setback. Where a proposal cannot meet the Acceptable
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		Outcome, the Planning Scheme allows for assessment against the applicable Performance Outcome. In relation to PO4: The proposed shed: a. Will not have an adverse impact on the amenity or functionality of adjoining residential allotments. The shed is a non-habitable domestic outbuilding used solely for vehicle accommodation and storage. b. Is located at the rear of the allotment and remains visually subordinate to the established dwelling house. The development will not dominate the streetscape or alter the residential character of the locality. c. Has a maximum height of approximately 3.92 metres, substantially below the 8.5 metre building height anticipated within the zone. This modest scale minimises any potential visual impact when viewed from adjoining allotments. d. Is separated from the nearest neighbouring dwelling at 62 Brett Avenue by approximately 20 metres and from the dwelling at 8 Steelcon Parade by approximately 22 metres. Accordingly, the reduced side setback does not create unreasonable overshadowing, visual bulk or overbearing impacts. e. Does not contain habitable rooms and therefore will not create privacy impacts through overlooking of adjoining residential properties.
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		f. Maintains a substantial area of open space and landscaping on the allotment, with site coverage increasing from 21.18% to only 34.3%, remaining well below the maximum 50% site coverage permitted within the Low Density Residential Zone. g. Is consistent with the established character of the locality where numerous larger domestic sheds exist, including at 6 Steelcon Parade, 4 Steelcon Parade, 12 Steelcon Parade, 53 Brett Avenue and 3 Todd Road. These existing developments demonstrate that domestic outbuildings of a similar nature form an established component of the surrounding residential environment. The proposed shed is therefore considered to satisfy the intent of PO4 notwithstanding the reduced side boundary setback. Complies. One dwelling house exists on the allotment and no additional dwelling accommodation is proposed.
	AO 4.3 There is no more than one <i>dwelling house, caretaker's accommodation, community</i>	

	<i>residence, dual occupancy or dwelling unit per lot.</i> AO 4.4 <i>Site cover</i> is not greater than: (a) 5 per cent in the following zones: • Rural residential; or • Open space; or (b) 25 per cent in the Sport and recreation zone; or (c) 50 per cent in the following zones: • Low density residential; or • Township; or (d) 60 per cent in the following zones: • Medium density residential; or • Mixed use; or • Local centre; or (e) 70 per cent in the Principal centre zone; or (f) 75 per cent in the following zones: • Low impact industry; or • Medium Impact industry; or • Special industry; or • Community facilities; or • Special purpose. AO 4.5 <i>Building height</i> is not greater than: (a) 10.5 metres and two storeys, in the following zones: • Rural; or • Rural residential; or (b) 10.5 metres, in Local centre zone: or (c) 15 metres and a maximum 8.5 metres <i>podium</i> height, in the Principal centre zone: or (d) Six metres in the Open space zone; or (e) 8.5 metres in all other zones.	Complies. Proposed site coverage is 34.3%, which is below the maximum 50% site coverage requirement applicable to the Low Density Residential Zone. Complies. The proposed shed has a maximum height of approximately 3.92 metres which is below the maximum building height permitted by the Code.
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AO 4.6

The number of *site* access driveways is limited to one, with vehicular access provided to the least trafficked road where the *site* has more than one *road frontage*.

Complies.

Existing access arrangements are retained and no additional driveway crossover is proposed.

Table 9.3.6.1 – Residential activities code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
PO 5 The <i>site</i> is of suitable size, shape and topography to accommodate: (a) the siting of the <i>residential activity</i>; and (b) the provision of adequate private open space and <i>landscaping</i>; and (c) appropriately located vehicle parking and maneuvering; and (d) all other servicing requirements.	AO 5.1 The <i>site</i> has a minimum area of: (a) 700m² where a <i>dual occupancy</i> is proposed; or (b) 750m² where a <i>multiple dwelling</i> is proposed. AO 5.2 The <i>site</i> has sufficient dimensions to accommodate a <i>residential activity</i> building that of at least 12 metres by 15 metres. AO 5.3 Where a <i>multiple dwelling</i> is proposed, the width of the <i>site</i> , measured parallel to the adjoining road and at the point that is 6 metres from the <i>site</i> boundary with the adjoining road, is at least 20 metres. AO 5.4 Vehicle parking for visitors is provided at the front of the main building. AO 5.5 Driveways are separated from the building by a one metre wide <i>landscaping</i> strip, except where a <i>caretaker's accommodation, community residence, dual occupancy, dwelling house, or dwelling unit</i> . AO 5.6 Where a <i>dual occupancy</i> , both <i>dwellings</i> have a minimum <i>road frontage</i> of 10 metres.	Complies. The site has an area of 857m² and is capable of accommodating the proposed shed while retaining landscaping, vehicle manoeuvring and servicing requirements. Not applicable. Not applicable. Complies. Not applicable. Existing access arrangements are retained. Not applicable.

Table 9.3.6.1 – Residential activities code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

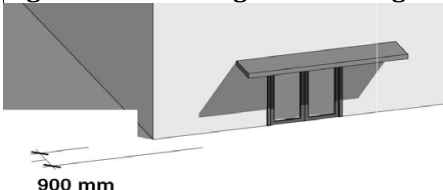
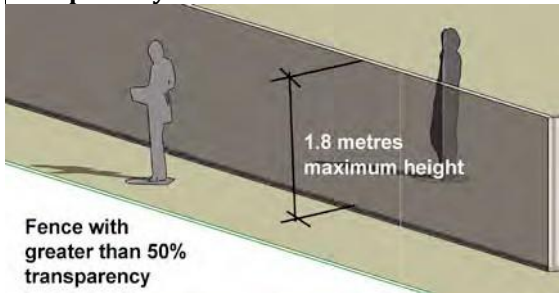
Performance outcomes	Acceptable outcomes	
Environmental management and ecological sustainability		
PO 6 Building design facilitates the construction of energy efficient buildings that respond to local climatic conditions.	AO 6.1 Development incorporates: (a) window tints (Refer Figure a); or (b) window hoods or eaves that protrude at least 600 millimeters from the window when measured perpendicular to the window (Refer Figure a). Figure a – Climatic solutions  AO 6.2 Pedestrian entries incorporate sun and rain shelter; such as overhangs or awnings that protrude at least 900 millimeters from the door when measured perpendicular to the door (Refer Figure b). Figure b – Overhangs and awnings 	Complies. The proposal is for a non-habitable domestic outbuilding and will not adversely affect the energy efficiency of the allotment.

Table 9.3.6.1 – Residential activities code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

Performance outcomes	Acceptable outcomes	
Fences and gates		
PO 7 Fencing must: (a) contribute positively to the character of the <i>streetscape</i>; and (b) enable casual surveillance and improve the perceived and actual levels of safety of the street; and (c) enable use of private open space; and (d) enhance the amenity of the <i>site</i>; and (e) provide buffering from potentially incompatible adjacent uses nearby; and (f) protect the privacy of adjoining and nearby premises; and (g) be constructed of high quality materials; and (h) provide for adequate sight lines.	AO 7.1 A fence that is constructed forward of any <i>front building line</i> that faces a <i>road frontage</i> (including <i>front building lines</i> that face both <i>road frontages</i> on a corner lot): (a) has a height, measured from <i>ground level</i>, that is not greater than: (i) 1.8 metres where the fence is at least 50 per cent transparent (Refer Figure c); or (ii) 1.5 metres where the fence is solid or not greater than 50 per cent transparent (Refer Figure d); and (b) does not incorporate solid steel sheeting such as Colorbond or Zincaneal above 1.5 metres in height (Refer Figure e). Figure c – Fences with greater than 50% transparency  Figure d – Solid fences	Complies. No new fencing is proposed as part of the development.

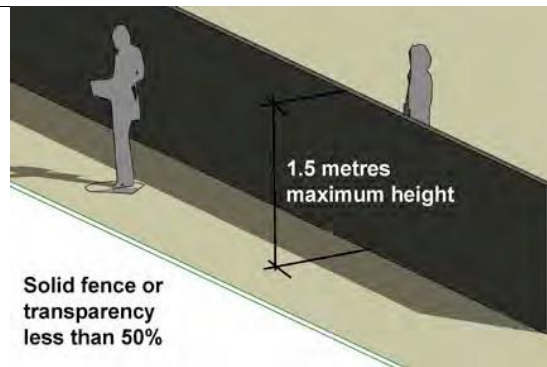


Figure e – Solid Sheeting

Table 9.3.6.1 – Residential activities code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
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- (c) incorporates detailing or indentations where the fence is greater than 10 metres in length in any direction.

AO 7.2

The height of side or rear boundary fences must not be greater than 1.8 metres, measured from *ground level*.

AO 7.3

Where a sensitive land use is proposed adjacent to an existing lawfully established non-residential use a 1.8-metre-high solid screen fence must be erected along all common boundaries.

AO 7.4

For uses not assessed against the QDC:

Fences on a corner lot and, within a truncation made by three equal chords of a 6 metre radius curve at the corner of the two *road frontages*, are not greater than 1 metre in height, measured from *ground level* (Refer Figure f).

Figure f – Corner truncation



Complies.
No new fencing is proposed as part of the development.

PO 8 Gates do not open beyond the lot boundary	AO 8.1 Gates located on a lot boundary do not open outward onto the street or an <i>adjoining property</i> .	Complies. No gates are proposed
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Table 9.3.6.1 – Residential activities code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
Privacy and amenity		

PO 9

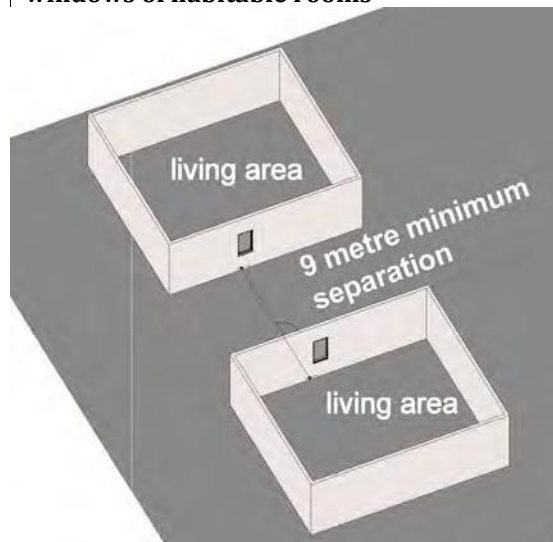
Development provides for privacy both within the *site* and between *adjoining sites*.

AO 9.1

A window of a habitable room is at least 9 metres from:

- (a) a window of an opposite habitable room or bathroom of another *dwelling*; and
- (b) an opposite area of private open space for another *dwelling* (**Refer Figure g**).

Figure g – Minimum separation of opposite windows of habitable rooms



OR

AO 9.2

Where a window of a habitable room, bathroom or an area of private open space is located opposite, and within 9 metres of a window of a habitable room or an area of private open space of an adjoining *dwelling*:

- (a) window sill heights are at least 1.7 metres above floor level (**Refer**

Complies.

The proposed shed does not contain habitable rooms and will not result in overlooking or privacy impacts upon adjoining residential properties.

Not applicable.

	Figure h(a)); or (b) opaque glazing is applied to any part of a window that is below 1.7 metres above floor level (Refer Figure h(b)); or (c) there is an angle of at least 45 degrees between two lines drawn from the same point on the subject window, one drawn to the nearest vertical edge of the window of the adjoining <i>dwelling</i> and the other drawn perpendicular to the subject window (Refer Figure i); or (d) permanent and fixed external screening (Refer Figure h(d)) is incorporated that is:	
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Table 9.3.6.1 – Residential activities code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

Performance outcomes	Acceptable outcomes	
	(i) a solid translucent screen; or (ii) perforated panels with openings not greater than 50 per cent; or (iii) trellises with openings not greater than 50 per cent; or Note—Figure h and Figure i are located at the end of the Residential activities code. (e) if the proposed <i>or</i> adjoining <i>dwellings</i> have located on <i>ground level</i>: (i) a window of a habitable room; or (ii) an area of private open space. A solid fence is constructed at least 1.8 metres in height, measured from <i>ground level</i>, on the boundary between the proposed and adjoining <i>dwellings</i>. AND AO 9.3 Any direct view from a window, private open space area, communal area or public area of the proposed <i>dwelling</i> into a private open space area of an adjoining <i>dwelling</i> is screened to block the view.	
Landscaping		Not applicable.

PO 10**Landscaping:**

- (a) provides an attractive *streetscape* and enhances the amenity of the zone; and
- (b) reduces the visual and environmental impact of hard surface areas; and
- (c) achieves maximum on-site storm/rainwater infiltration; and
- (d) minimises any additional burden on drainage infrastructure.

AO 10.1

For development other than a single *dwelling house*, a densely planted landscape strip is provided (**Refer Figure j**) that:

- (a) extends along the entire length of any *road frontage*, except for the areas required for vehicle and pedestrian access; and
- (b) is within the boundary of the lot; and
- (c) is at least 2 metres in width; and

Figure j - Landscaping along road frontages

**AO 10.2**

At least 15 per cent of the *site* incorporates soft *landscaping*.

Complies.

Substantial landscaped areas remain across the allotment following construction.

Complies.

More than 15% of the site remains available for landscaping.

Table 9.3.6.1 – Residential activities code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
PO 11 For <i>residential activities</i> excluding: • <i>dwelling house;</i> • <i>dual occupancy;</i> • <i>caretakers accommodation;</i> • <i>dwelling unit.</i> <i>landscaping</i> provides appropriate buffers to non- <i>residential activities</i> .	AO 11.0 A densely planted 2 metre landscape buffer is provided along all boundaries abutting a non- <i>residential activity</i> .	Not Applicable. The proposal is for an ancillary shed. The provision relates to residential activities other than dwelling houses.
Traffic, parking and access		
PO 12 Parking and access layout must: (a) promote safe and efficient vehicular movement; and (b) be designed to be visually unobtrusive from the street; and provide all weather parking; and (c) not adversely impact upon the amenity of the neighbourhood; and (d) ensure minimal loss of on-street parking spaces.	AO 12.1 Development (other than in the Rural zone) is accessed via a constructed and sealed road. AO 12.2 A maximum of one vehicle crossing is constructed per <i>site</i> . AO 12.3 For a <i>dwelling house, dual occupancy, dwelling unit</i> or <i>caretaker's accommodation</i> , at least one of the required minimum of two car parks is under a covered area. AO 12.4 On-site car parking is not located between the building and the <i>primary road frontage</i> . AO 12.5 For development involving more than eight <i>dwelling</i> s, an on-site maneuvering area for service vehicles is provided and designed in accordance with Schedule 6: Engineering works and services planning scheme policy .	Complies. The site gains access from a sealed road. Complies. The proposal retains existing parking arrangements Complies. The shed provides an additional three covered parking spaces within the proposed shed. Complies. Not applicable.
Services		

PO 13 Development provides for communal clothes drying facilities where individual drying facilities (exclusive of open space areas) are not provided.	AO 13.1 For a <i>multiple dwelling</i> or <i>rooming accommodation</i>, a communal outdoor clothes drying area(s) is provided that: (a) has an area of at least 5m² for each: • <i>dwelling in a multiple dwelling</i>; or • <i>room in a community residence or rooming accommodation</i>; and (b) has a minimum dimension of 2 metres; and (a) has a maximum area of 60m²; and (c) is screened so as not to be visible from the street; and (d) has an impervious surface.	Not Applicable. No multiple dwelling or rooming accommodation is proposed.
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Table 9.3.6.1 – Residential activities code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

Performance outcomes	Acceptable outcomes	
<i>Steep Slopes or unstable Soils</i>		
PO 14 Development must adequately address the constraints of steeply sloping or unstable land.	AO 14.1 Building work is not undertaken on land that has a maximum slope greater than 15 per cent.	Complies. No significant earthworks, retaining walls or alterations to natural ground levels are proposed. Site preparation is limited to that required for shed construction.
	AO 14.2 Building work undertaken on a slope greater than 10 per cent does not involve cut and/or fill greater than: (a) 1 metre in height or depth at any point; and (b) 50m ³ in total volume.	Complies. No significant earthworks, retaining walls or alterations to natural ground levels are proposed. Site preparation is limited to that required for shed construction.
	AO 14.3 Areas between a building's floor and the <i>ground level</i> , or between outdoor deck areas and the <i>ground level</i> , are screened from public view by using lattice or similar screening.	Complies. No significant earthworks, retaining walls or alterations to natural ground levels are proposed. Site preparation is limited to that required for shed construction.
	AO 14.4 Driveways are not steeper than 20 per cent.	Not applicable.
Open space: where for a caretaker's accommodation, dual occupancy, dwelling house, dwelling unit, multiple dwelling, residential care facility or retirement facility		

PO 15 The development incorporates open space that: (a) meets the needs of the occupants with respect to leisure and privacy; and (b) is convenient and attractive to use; and (c) enhances the amenity of the development; and (d) provides sun and weather protection due to the harsh climate of Mount Isa.	AO 15.1 Where the main living area is at <i>ground level</i>, private open space is provided that: (a) is directly accessible from the main living area; and (b) has a single area of at least 16m² per <i>dwelling</i>; and (c) has with a minimum width of 4 metres; and; (d) has an area with dimensions of at least 3 metres by 4 metres that is completely covered for sun and weather protection; and (e) has a maximum gradient of 1 in 10; and (f) is fenced or screened to protect privacy between adjacent <i>dwellings</i>; and (g) does not have air-conditioning units or other services located in this space; and (h) is provided with access to a tap. Refer Figure k Note—Figure k is located at the end of the Residential activities code. OR AO 15.2 Where the main living area is above <i>ground level</i>, private open space is provided that:	Complies. Existing private open space associated with the dwelling house is retained.
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Table 9.3.6.1 – Residential activities code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
	(a) has a single area of at least 10m² per <i>dwelling</i>; and (b) has a minimum width of 3 metres; and; (c) is directly accessible from the main living area; and (d) is completely covered for sun and weather protection; and (e) is fenced or screened to protect privacy between adjacent <i>dwellings</i>; and (f) does not have air-conditioning units or other services located in this space. Refer Figure 1 Note—Figure 1 is located at the end of the Residential activities code. AND AO 15.3 For <i>multiple dwelling</i> developments exceeding 10 <i>dwellings</i>, communal public open space for residents of the development (in addition to private open space above) is provided that: (a) has an area of at least 10m² per <i>dwelling</i>; and (b) has a minimum dimension of 6 metres; and; (c) has a maximum gradient of 1 in 10; and (d) has access for people with disability; and (e) is located at least 3 metres from <i>dwellings</i> on <i>adjoining lots</i>, or screened by a 1.8-metre-high solid screen fence along the common boundary.	Not applicable.

Table 9.3.6.1 – Residential activities code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

Performance outcomes	Acceptable outcomes	
PO 18 <i>Multiple dwellings</i> in mixed use buildings have a safe, convenient, and easily identifiable entrance that is separate from the entrance to any non-residential activity in the building.	AO 18.1 The <i>multiple dwelling</i> has an entrance from the street that is: (a) separate from the entrance to the non-residential use; and (b) clearly identifiable from the street.	Not Applicable. No Multiple Dwelling development is proposed.
Additional requirements for a caretaker's accommodation		
PO 19 <i>Caretaker's accommodation</i> is designed and sited to ensure its use (a) is safe for visitors and residents; and (b) does not compromise the productivity of the primary use.	AO 19.1 The <i>caretaker's accommodation</i> is separated from: (a) any <i>low impact industry</i> use by at least 6 metres: and (b) any <i>medium impact industry</i> use by at least 10 metres. AO 19.2 Only one <i>caretaker's accommodation</i> is provided per site. AO 19.3 <i>Caretakers accommodation</i> includes a fenced private open space area.	Not Applicable. No Caretaker's Accommodation is proposed.
Additional requirements for dwelling units		
PO 20 <i>Dwelling units</i> are designed to ensure a high level of safety, security and amenity for residents.	AO 20.1 The <i>dwelling unit</i> has an entrance from the street that is separate from the entrance to the non-residential activity that is clearly identified from the street. AO 20.2 The <i>dwelling unit</i> number is clearly displayed on the <i>dwelling unit</i> entrance and letter box.	Not Applicable. No Dwelling Unit is proposed.

Additional requirements for uses other than a caretaker's accommodation, dual occupancy, dwelling house, dwelling unit or multiple dwelling.		
PO 21 Development does not adversely impact on the existing or future amenity of adjoining and nearby land uses, including, but not limited to, the impacts of: (a) air pollution; and (b) noise; and (c) vibration; and (d) odour; and (e) a loss of privacy; and (f) dust; and (g) other emissions.	AO 21.1 Development achieves the air quality design objectives set out in the <i>Environmental Protection (Air) Policy 2008</i>. AO 21.2 Development achieves the acoustic quality objectives for sensitive receptors set out in the <i>Environmental Protection (Noise) Policy 2008</i>. AO 21.3 The use does not involve an Environmentally Relevant Activity (ERA). AO 21.4 Vibrations produced on-site do not exceed the maximum acceptable levels identified in <i>Australian Standard 2670.2 Evaluation of human exposure to whole of body vibration</i>,	Not Applicable. The provision applies to uses other than dwelling houses and ancillary residential development.

Table 9.3.6.1 – Residential activities code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
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	<i>Part 2: continuous and shock induced vibration in buildings (1-80Hz).</i> AO 21.5 Odour emissions produced on-site cannot be detected beyond the boundaries of the <i>site</i>. AO 21.6 Where food or cooking odour is released: (a) exhaust vents are separated from adjacent uses by at least 6 metres horizontally; and (b) odour is discharged vertically and directed away from the adjacent uses. AO 21.7 Impacts from dust produced on-site do not extend beyond the boundaries of the <i>site</i>. AO 21.8 Where the development has a common boundary with land located in the Low density residential zone, Medium density residential zone, Rural residential zone, Mixed use zone or Township zone, or an existing <i>sensitive land use</i>: (a) a 1.8-metre-high solid fence and a 2.5-metre-wide densely planted <i>landscaping</i> buffer are provided along all common boundaries; and (b) noise emitting devices, such as air-conditioning equipment, pumps and ventilation fans are: (c) (i) located as far as practicable from every common boundary; and (ii) screened from the common boundary; and (d) it does not include outdoor dining, or	<i>Not Applicable.</i> <i>The provision applies to uses other than dwelling houses and ancillary residential development.</i>
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	outdoor entertainment or smoking areas between the side and/or rear wall of the building and the common boundary.	
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Domestic outbuildings and swimming pools		
PO 22 The design, location and scale <i>of domestic outbuildings</i> retain the residential character of the area and do not negatively impact on the amenity of <i>adjoining properties</i>.	AO 22.1 <i>Domestic outbuildings:</i> (a) have a maximum height of 4.5 metres; and (b) do not exceed 100m² in size.	Partial compliance. The maximum height of the Shed is 3.92 metres, less than 4.5 metres. The proposed domestic outbuilding has an area of 112m² and exceeds the allowable 100m² area. Where a proposal cannot meet the Acceptable Outcome, the Planning Scheme allows for the addressing of the applicable Performance Outcome. In relation to PO22: • The shed will remain low in scale with a maximum height of 3.92 metres, located behind the existing dwelling and used solely for domestic storage and vehicle accommodation. • The proposal will not impact neighbouring amenity due to separation distances of approximately 20 metres and 22 metres to adjoining dwellings. • The allotment maintains a site coverage of only 34.3% and the development is consistent with numerous similar sheds located at 6 Steelcon Parade, 4 Steelcon Parade, 12 Steelcon Parade, 53 Brett Avenue and 3 Todd Road. The proposal is therefore considered to satisfy PO22.

PO 23

The design, location and scale of *domestic outbuildings* and swimming pools do not dominate the *road frontage* or negatively impact the amenity of *adjoining* properties.

AO 23.1

Garages:

- (a) are located behind the front building line;
or

Complies.

The proposed shed is located behind the existing dwelling house and will not dominate the road frontage.

Table 9.3.6.1 – Residential activities code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

Performance outcomes	Acceptable outcomes	
	(b) have an opening that does not exceed 6 metres or 60 per cent of the <i>road frontage</i> whichever is less. AO 23.2 Carports: (a) have a maximum height of 4.5 metres; and (b) have an opening that does not exceed 6 metres or 60 per cent of the <i>road frontage</i> whichever lesser; and (c) do not enclose the side facing the <i>primary road frontage</i> by a door. AO 23.3 Swimming pools (above ground or partially above ground) where located between the <i>front building line</i> and the <i>road frontage</i> do not exceed 1.5 metres in height.	Complies. The proposed shed is located behind the existing dwelling house and will not dominate the road frontage. Not applicable. No swimming pool is proposed.
Development in the Rural zone		
PO 24 In the Rural zone, <i>residential activities</i> have safe all weather road access.	AO 24.1 A formed road access is provided to the <i>residential activity</i>, constructed in accordance with Schedule 6.2 Engineering works and services planning scheme policy.	Not applicable.
PO 25 Development of a <i>sensitive land use</i> in the Rural zone is adequately separated of buffered to avoid impacts from rural activities (such as odour, noise, dust, and spray drift).	AO 25.1 The development of a <i>sensitive land use</i> in the Rural zone does not encroach within 150 metres from an existing <i>rural activity</i> on an adjoining property.	Not applicable.

Table 9.3.6.2 – Residential activities code:

• **Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
Amenity and safety		
PO 1 Development incorporates key elements of Crime Prevention Through Environmental Design (CPTED) to enhance safety of the <i>site</i> , adjoining streets and surrounding area.	AO 1.1 Development design and layout provides: (a) opportunities for casual surveillance and sightlines; and (b) exterior building designs which promote safety; and (c) adequate identification of uses and ownership; and (d) adequate lighting; and (e) appropriate way-finding mechanisms (e.g. signage); and (f) prevention of entrapment locations; and (g) prevention of access to roof areas and other premises.	Complies. The development is visible from within the site and does not create unsafe areas or concealed spaces.
PO 2 All development is located, designed, orientated and constructed to prevent any adverse impacts	No acceptable outcome is prescribed.	Complies. The development is a domestic storage shed and is not expected to generate noise, odour, lighting or dust impacts.

Table 9.3.6.2 – Residential activities code:

• **Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
on the development that may be caused by noise, odour, lighting and dust emissions from existing lawful uses, including <i>Industry activities and rural activities</i> .		
Built form, character, design and scale		
PO 3 Development addresses the street, enhances the character of the area, and facilitates casual surveillance of the street.	AO 3.1 Buildings: (a) are oriented to the <i>road frontage</i> ; and (b) facilitate casual surveillance of streets and public spaces from habitable rooms.	Complies. The existing dwelling continues to provide a clear street presence.
PO 4 Buildings are designed to enhance the character of the <i>streetscape</i> and amenity of the surrounding area by achieving a high quality aesthetic standard and <i>built form</i> character.	AO 4.1 Building design incorporates a combination of high quality, attractive, durable and low-maintenance materials.	Complies. The shed will be constructed from durable Colorbond materials suitable for the locality.
PO 5 The visual impact of any development does not adversely impact on the character of the area.	AO 5.1 Development displays elements of domestic residential form and character, including architectural detailing and materials.	Complies. The development maintains a domestic scale and character consistent with the surrounding area.
Environmental management and ecological sustainability		
PO 6 Building design, <i>site</i> layout and <i>landscaping</i> facilitates the construction of energy efficient buildings that respond to local climatic conditions.	AO 6.1 Building designs: (a) maximise solar access to the north in winter; and (b) minimise solar access to the east and west in the summer; and (c) maximise access to any prevailing summer breezes; and (d) minimise exposure to prevailing winter winds.	Complies. The proposal is a non-habitable structure and is not expected to compromise energy efficiency outcomes.

PO 7

The *site* layout responds sensitively to on-site and surrounding topography, drainage patterns and vegetation.

AO 7.1

Development ensures:

- (a) earthworks on site are minimised; and
- (b) natural drainage lines are retained; and existing vegetation (including street trees) is retained.

Complies.

Earthworks are limited to site preparation for the shed slab. Existing drainage patterns are maintained.

Table 9.3.6.2 – Residential activities code:

• **Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
Open Space		
PO 8 The development incorporates open space that meets the needs of the occupants with respect to leisure and privacy, is convenient and attractive to use and enhances the amenity of the development.	A0 8.1 For development involving more than 10 rooms, communal public open space for residents of the development (in addition to private open space) is provided that: (a) has an area of at least 10m² per room; and (b) has a minimum dimension of 6 metres; and (c) has a maximum gradient of 1 in 10; and (d) has access for people with disability; and (e) is located at least 3 metres from <i>dwellings on adjoining lots</i>, or screened by a 1.8-metre-high solid screen fence along the common boundary.	Complies. Adequate open space remains available on the allotment.
Steep Slopes or Unstable Soils		

PO 9

Where building work is undertaken on a *site* that contains or adjoins a steep slope or is subject to unstable soils, adequate protection measures are utilised to prevent the risk of land slippage or erosion.

AO 9.1

Where building work is undertaken on a *site* that:

- (a) is on land subject to a slope greater than 15 per cent; or
- (b) adjoins land that has a slope greater than 15 per cent; or
- (c) is subject to unstable land

A site-specific geotechnical analysis in accordance with AGS2007 is prepared by a registered professional engineer to demonstrate that the site is not subject to landslide hazard. It must certify that:

- the stability of the site, including associated buildings and infrastructure, will be maintained over the operational life of the development; and
- the site is not subject to risk of landslide activity originating from other land, including land above the site; and
- the development will not increase the risk of landslide on other land; and
- specific reference is made to assembly uses, essential community infrastructure, vulnerable uses or difficult to evacuate uses.

Complies.

The site does not contain steep slopes requiring geotechnical assessment.

Table 9.3.6.2 – Residential activities code:

- Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
Traffic, parking and access		
PO 10 The traffic and parking generated by the proposed development does not: (a) adversely affect the surrounding or future planned road network; or (b) generate traffic in excess of that reasonably expected in the local area; or (c) result in an increased demand for on-street parking.	A0 10.1 A traffic impact assessment report is prepared by a registered professional traffic engineer that: (a) identifies the traffic impacts of the development; and (b) outlines satisfactory mitigation measures required to address these impacts.	Complies. The proposal is ancillary to a dwelling house and will not materially increase traffic generation.
Additional requirements for uses other than a caretaker's accommodation, dual occupancy, dwelling house, or dwelling unit		
Amenity and safety		
PO 11 Pedestrian access to the <i>site</i> and building is safe and easily identifiable.	A0 11.1 Bollard lighting or security lighting is provided along all pedestrian access paths and entry points. A0 11.2 Development has a clearly defined pedestrian entrance that is visible from the street, covered, and lit for nighttime identification and security in accordance with <i>Australian Standard 1158 Set 2010 Lighting for Roads and Public Spaces</i> .	Not applicable. Not applicable.
Built form, character, design and scale		

PO 12 Development incorporates graffiti-prevention measures.	AO 12.1 Building and <i>site</i> design incorporates a combination of the following features: (a) shrubbery planted against walls and fences; and (b) designs with absence of natural ladders; and (c) minimal unbroken vertical service area; and (d) graffiti-deterrent surfaces.	Not applicable.
Storage and waste management		
PO 13 Storage areas for equipment, goods, and materials and refuse containers are provided which are: (a) screened from the street and any <i>adjoining property</i>; and (b) adequately sized to accommodate the refuse generated on-site; and (c) conveniently accessible to collection and delivery vehicles; and (d) able to be kept clean and dust free at all times.	AO 13.1 Refuse container storage areas are: (a) provided within the <i>site</i>; and (b) not located within any required <i>setbacks</i> from an <i>adjoining land use</i> or road boundary; and (c) not located within a <i>flood hazard area</i>; and (d) screened from view by a minimum 1.8-metre-high solid fence or wall; and (e) provided on an imperviously sealed pad that drains to an approved waste disposal system; and (f) provided with a lockable tap within 5 metres; and	Not applicable.

Table 9.3.6.2 – Residential activities code:

- Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
	(g) separated by at least 3m from the common boundary of any <i>adjoining lot</i> containing a <i>sensitive land use</i>, or located in the Low density residential zone or Medium density residential zone; and (h) large enough to accommodate at least one standard commercial refuse bin (if required) that is of a size appropriate to the nature and scale of the use. AO 13.2 Other outdoor storage areas are: (a) not located within any required <i>setback</i> from a zone or road boundary prescribed by this code or the applicable zone code; and (b) in an enclosed area or otherwise screened from view from the street, other public areas and <i>adjoining properties</i>. AO 13.3 Materials stored on-site that are capable of generating air contaminants either by wind or when disturbed, are managed by: (a) being wholly enclosed in a building or storage bins; or (b) suppressed so material cannot become airborne.	Not applicable. Not applicable.
Traffic, parking and access		

PO 14 The traffic and parking generated by the proposed development does not: (a) adversely affect the surrounding or future planned road network; and (b) adversely affect the amenity of the surrounding neighbourhood; and (c) create safety conflicts with pedestrians; and (d) result in an increased demand for on-street parking.	AO 14.1 A traffic impact assessment report is prepared by a registered professional traffic engineer that: (a) identifies the traffic impact, including any potential safety conflicts related to the development and on-street car parking demands; and (b) demonstrates the <i>site</i> has safe and convenient vehicular and pedestrian access; and (c) outlines mitigation measures to address the related traffic impacts.	Not applicable.
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Table 9.3.6.2 – Residential activities code:

- Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
PO 15 Development facilitates a functional overall road hierarchy and maximise the safety and efficiency of the State-controlled road network.	AO 15.1 Where new or upgraded road access is proposed: If development fronts more than one road, access to the site is via the lowest order road as indicated in Major Infrastructure Overlay – Road Hierarchy Maps 1 to 11 (OM-RH-01 to OM-RH-11) Note—State Controlled Roads are considered higher order than non-State Controlled Roads.	Not applicable.
Provisions specific to the Rural zone		
PO 16 Development in the Rural zone does not adversely impact on the ongoing operation of nearby <i>rural activities</i> .	No acceptable outcome is prescribed.	Not applicable.
PO 17 Development of <i>non-resident work force accommodation</i> in the Rural zone is temporary in nature, close to Mount Isa and does not affect the amenity and function of surrounding land uses.	AO 17.1 <i>Non-resident work force accommodation</i> is for a period not exceeding six months AO 17.2 <i>Non-resident work force accommodation</i> does not exceed 5000 square metres in area. AO 17.3 <i>Non-resident work force accommodation</i> is constructed within 20km of the urban area of Mount Isa Note—EDQ Non-resident worker accommodation PDA Guideline No.3 May 2015 provide guidance for the design of <i>Non-resident work force accommodation</i>	Not applicable. Not applicable. Not applicable.

9.4.3 Excavation and filling code

9.4.3.1 Application

This code applies to:

- (1) accepted development subject to requirements and assessable development identified as requiring assessment against the Excavation and filling code in the tables of assessment in Part 5 of this Planning Scheme; and
- (2) all impact assessable development not specifically identified in the level of assessment tables in Part 5 of this Planning Scheme.

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3, in Part 5.

9.4.3.2 Purpose

The purpose of the Excavation and filling code is to ensure that

- (1) disturbance to the soil surface is appropriately managed to minimise erosion and
- (2) changed patterns of run off and stormwater and
- (3) development is in character with the surrounding area and
- (4) the site is fully rehabilitated.

The purpose of this code will be achieved through the following overall outcomes:

- (1) Filling and excavation does not adversely or unreasonably impact on the natural environment or adjoining properties.
- (2) Filling and excavation limits or minimises the amount of site disturbance;
- (3) Filling and excavation do not result in any contamination of land;
- (4) Filling and excavation do not result in erosion of land and sedimentation of watercourses;
- (5) Development controls runoff and sediment movement and does not cause an increase in flooding or drainage problems;
- (6) Sites are appropriately rehabilitated once filling and excavation is completed;
- (7) Filling and excavation does not cause land instability, or create hazards for the environment, persons or property on the subject site or adjoining sites; and
- (8) Development does not adversely impact on visual character or amenity values.

9.4.3.3 Assessment benchmarks

Table 9.4.3.1 – Excavation and filling code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

Performance outcomes	Acceptable outcomes	
Contamination		
PO 1 Excavation or filling does not result in contamination of land or waters.	AO 1.1 Development that requires filling ensures that no contaminated material is used. AO 1.2 Development that requires excavation ensures that no contaminated material is disturbed or excavated.	Complies. No filling using contaminated material is proposed. Any filling associated with site preparation will utilise clean fill material suitable for construction purposes. Complies. There is no evidence of contaminated material being present on the site and the proposed development will not disturb contaminated land.
Driveways		
PO 2 Excavation or filling does not prevent or create difficult access to the property	AO 2.1 Driveways are not constructed with a slope of greater than 20 per cent or 1 in 5. AO 2.2 Driveways are constructed and maintained in accordance with the requirements of Schedule 6: Engineering works and services planning scheme policy .	Complies. No new driveway arrangements are proposed as part of the development. Existing driveway gradients remain unchanged. Complies. Existing access arrangements are retained and any works undertaken will be carried out in accordance with Council's engineering requirements.
Effect on adjoining land		
PO 3 Excavation or filling does not adversely impact on the privacy or visual amenity of the adjoining or surrounding land.	AO 3.1 Filling does not exceed 0.3 metres above <i>natural ground level</i> at any point.	Complies. No filling exceeding 0.3 metres above natural ground level is proposed. The development is limited to site preparation and construction of the shed slab.

PO 4 Excavation or filling does not impact drainage paths.	AO 4.1 Excavation or filling does not change existing <i>ground levels</i> by 1 metre or more of any part of the land or where any drainage paths are affected.	Complies. The proposal will not alter ground levels by 1 metre or more and will not affect existing drainage paths.
PO 5 Excavation or filling does not result in any instability, <i>slopewash</i> or any other effect of un-retained earth material on adjoining or surrounding land.	AO 5.1 Where earthworks result in a ground surface level at the boundary of an allotment which differs by more than 100 millimetres from the ground surface level at the corresponding location on an <i>adjoining lot</i> , a retaining structure is to be provided, either to retain the new work to prevent collapse onto <i>adjoining land</i> , or to retain the pre-existing earth material on <i>adjoining land</i> to prevent collapse. AO 5.2 Retaining structures which are equal to or more than 1-metre-high are to be constructed in accordance with a design certified by a RPEQ.	Complies. No retaining walls are proposed and no earthworks are proposed that would create level differences requiring retaining structures. Complies. No retaining structures exceeding 1 metre in height are proposed.
Erosion and sedimentation		
PO 6 Excavation or filling does not result in increased erosion and sedimentation.	AO 6.1 Erosion and sedimentation controls are implemented in accordance with Schedule 6: Engineering works and services planning scheme policy.	Complies. Appropriate erosion and sediment control measures will be implemented during construction to minimise sediment movement from the site.

Table 9.4.3.1 – Excavation and filling code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
Flooding and drainage		
PO 7 Excavation or filling does not result in any increase in flooding or drainage problems.	AO 7.1 Development ensures that: (a) water does not pond on any land; and (b) the afflux caused by the works does not affect other land by way of a heightened water level during the 100-year <i>Annual recurrence interval (ARI)</i> flood event as identified in the Flood Hazard Overlay; and (c) there is no loss of floodplain storage below the 100-year <i>Annual recurrence interval (ARI)</i> flood level as identified in the Flood Hazard Overlay; and (d) any runoff diverted by the works must be discharged directly to a point of lawful discharge in such a way that the pre-existing runoff patterns for surface water are not altered.	Complies. The development will not increase flooding or drainage impacts. Stormwater from the shed roof will discharge to Brett Avenue as the lawful point of discharge and existing runoff patterns are maintained.
General		
PO 8 The location and extent of excavation or filling is consistent with the intended use of the <i>site</i> .	AO 8.1 The extent of excavation and filling is in accordance with an existing development approval for a material change of use, reconfiguring a lot or building work (that has not lapsed).	Complies. The proposed excavation and site preparation works are directly associated with, and necessary for, the construction of the proposed shed.
Site rehabilitation		

PO 9 As the excavation and filling of each section of the <i>site</i> is completed it is to be rehabilitated in a manner that results in optimal future land use and that avoids adverse impacts on ecological and hydrological processes.	AO 9.1 The rehabilitation is completed in compliance with an approved <i>site</i> plan AO 9.2 The final surface of the <i>site</i> is topsoiled, sloped, drained and vegetated or otherwise treated to minimise erosion, infiltration and to prevent ponding of stormwater. AO 9.3 Rehabilitation ensures that the <i>site</i> is stable and poses no threat to ground or surface water quality.	Complies. Any disturbed areas associated with construction will be rehabilitated following completion of the works. Complies. Disturbed surfaces will be appropriately treated to minimise erosion and prevent ponding of stormwater. Complies. The completed development will provide a stable finished surface that will not adversely affect water quality or site stability.
Structural stability		
PO 10 All earth structures formed both during and at the completion of the works must be structurally stable.	AO 10.1 Earthworks and retaining walls are designed and constructed by an RPEQ in accordance with Schedule 6: Engineering works and services planning scheme policy.	Complies. The shed is supported by engineer-certified documentation demonstrating structural adequacy of the proposed construction.

Table 9.4.3.1 – Excavation and filling code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
Excavation and filling near bulk water and high-pressure gas pipelines		
PO 11 Development adjacent or close to bulk water infrastructure and high-pressure gas pipelines maintains integrity of these pipelines and allows for access for required maintenance and upgrade activities.	AO 11.1 No acceptable outcome is prescribed	Complies. The site is not affected by bulk water infrastructure or high-pressure gas pipelines. The proposal will not impact such infrastructure.

9.4.5 Landscaping code

9.4.5.1 Application

This code applies to:

- (1) accepted development subject to requirements and assessable development identified as requiring assessment against the Landscaping code in the level of assessment tables in Part 5 of this Planning Scheme; and
- (2) all impact assessable development not specifically identified in the level of assessment tables in Part 5 of this Planning Scheme.

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3, in Part 5.

9.4.5.2 Purpose

The purpose of the Landscaping code is to manage *landscaping* associated with development. The purpose of the code will be achieved through the following overall outcomes:

- (1) Landscaping complements and enriches the physical environment of Mount Isa;
- (2) Landscaping ensures privacy and buffering between uses is achieved where appropriate;
- (3) The amenity, appearance of development is enhanced and visual interest is provided;
- (4) Public health and safety is maintained and improved;
- (5) Landscaping is efficient to maintain and environmentally sustainable.

Table 9.4.5.1 –Landscaping code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

- ## Performance outcomes

PO 1 <i>Landscaping</i> contributes to the amenity and appearance of the development and the character of the city.	AO 1.1 Planting for landscape buffers incorporate: (a) endemic or other native species as provided in Schedule 6.4: Preferred plants planning scheme policy; and (b) planting with a size at maturity that is: (i) in the case of street trees, a minimum height of 7 metres, except under power lines; or (ii) in the case of trees on other land, a minimum height of at least 75 per cent of the <i>building height</i> of the largest structure on the allotment; and (c) all ground surfaces not covered by paving are covered by a groundcover; and (d) water reticulation for landscape maintenance. AO 1.2 Planting for landscape buffers is at the following minimum densities: • large trees, 8 metre centres; or • small trees, 3 metre centres; or • shrubs, 1.5 metre centres; or • groundcover, 0.5 - 1 metre centres.	Complies. Existing landscaping is established and will be maintained into the future. Any additional landscaping required following construction will be installed using appropriate stock sizes. Complies. Landscaping retained on site is established and maintained at appropriate densities to support residential amenity.
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Table 9.4.5.2 – Landscaping code:

• **Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
Planting Standards		
PO 1 Landscape planting is installed at an appropriate standard and adequately established and maintained.	AO 1.1 Minimum plant stock sizes are: • for street and feature trees: 45 litre bag; • for other trees: 25 litre bag; • for shrubs, 200 millimetre pot; • for groundcovers, 140 millimetre pot.	Not applicable.
	AO 1.2 Spacing for trees, shrubs and groundcover is: • for trees higher than 10 metres at maturity: 8-10 metre centres; • for trees between 5 metres and 10 metres high at maturity: 5-8m centres; • for shrubs higher than 1.5 metres at maturity: 1 - 2 metre centres;	Not applicable.

Table 9.4.5.2 – Landscaping code:

- **Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
	• for groundcovers, other than grass: 0.5 - 1 metre centres. AO 1.3 <i>Landscaping</i> is installed and established in accordance with Schedule 6: Engineering works and services planning scheme policy.	Complies. Any landscaping works undertaken will be installed in accordance with accepted engineering and landscaping practices.
Landscaping Principles		

PO 2 Development is to have an area of the allotment appropriately landscaped to enhance its appearance and provide an adequate level of amenity for occupants and <i>adjoining land uses</i>.	AO 2.1 For <i>residential activities</i> other than a <i>dwelling house</i>, <i>landscaping</i> includes: (a) a minimum of 1 tree for every 6 metres of <i>site</i> perimeter; and (b) shrubs of sufficient height and size at maturity are placed so as to completely screen blank walls, sheds, plant and machinery, refuse storage areas and similar elements of the development; and (c) low shrubs and groundcover provide complete coverage of unsealed surfaces; and (d) at least 10 per cent of the area of the allotment is landscaped in such a way that the full effect of the <i>landscaping</i> is visible from the street.	Complies. The site retains substantial landscaped areas following construction of the shed. Approximately 588m² of landscaped area remains available across the allotment providing a high level of residential amenity.
	AO 2.2 For activities other than <i>residential activities</i>, <i>landscaping</i> includes: (a) large trees that achieve a canopy spread at maturity over a minimum of 40 per cent of the perimeter of the <i>site</i>; and (b) at least 25 per cent of trees that achieve a height at maturity above the level of the building parapet or eave; and (c) spreading trees and shrubs to maximise the screening effect of vegetation; and (d) 1 spreading canopy tree with mulched surround and groundcover for every 6 car parking spaces; and (e) at least 10 per cent of the area of the allotment is landscaped in such a way that the full effect of the <i>landscaping</i> is visible from the street.	Not Applicable. The proposal is a residential activity and this provision relates to activities other than residential activities.

Table 9.4.5.2 – Landscaping code:

• **Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
Restoration of Disturbed Areas		
PO 3 Ground surfaces which are disturbed by construction activities are restored to at least their original condition.	AO 3.1 Where the surface of the ground is disturbed by construction activities and is not subsequently covered by a building, paving or other <i>landscaping</i> , the surface is to be restored to its original condition by: (a) stockpiling and respreading the original topsoil; and (b) planting the affected area with species to match the original plant cover; and (c) maintaining the plants until they are established; and (d) if the original vegetation required maintenance, on-going maintenance to the new plants to promote healthy and vigorous growth.	A03.1 Complies. Any areas disturbed during construction will be stabilised and restored following completion of development.
Access and Safety		

PO 4 <i>Landscaping</i> enhances access and personal safety.	AO 4.1 Paved surfaces are slip-resistant, stable and trafficable in all weather conditions. AO 4.2 Landscape design complies with Australian Standard AS1428.1-2010 <i>Design for access and mobility</i>. AO 4.3 <i>Landscaping</i> does not obstruct visibility within parks, playgrounds, pathways and vehicle parking areas. AO 4.4 Trees with a clear trunk height at maturity of at least 1.8 metres and groundcover with a maximum height of 0.3 metres are used in <i>landscaping</i> along street footpaths, pathways, vehicle parking areas, street corners and street lighting.	A03.1 Complies. Any areas disturbed during construction will be stabilised and restored following completion of development. Complies. The proposal does not involve public landscaping areas requiring accessibility upgrades. Existing access arrangements remain unchanged. Complies. Existing landscaping does not obstruct vehicle visibility or access to the site. Complies. Existing landscaping is compatible with visibility and safety requirements within the residential allotment.
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Table 9.4.5.2 – Landscaping code:

• **Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
Landscape buffers		
PO 5 Appropriately designed landscape buffers are provided between incompatible uses for visual screening and noise attenuation.	AO 5.1 Where landscaped buffers strips are required by an applicable code, a combination of the following elements is incorporated or provided: (a) earth mounding; or (b) screen fencing of durable materials and construction; or (c) planting with dense foliage which extends to the ground. AO 5.2 Planting for landscape buffers is at the following minimum densities is: • for large trees: 8 metre centres; • for small trees: 3 metre centres; • for shrubs: 1.5 metre centres; • for groundcovers: 0.5-1 metre centres.	Not Applicable. No landscape buffer is required as the proposal remains a residential activity within a residential area. Not Applicable. No landscape buffer planting is required.

9.4.6 Parking, access and loading code

9.4.6.1 Application

This code applies to:

- (1) accepted development subject to requirements and assessable development identified as requiring assessment against the Parking, access and loading code in the level of assessment tables in Part 5 of this Planning Scheme; and
- (2) all impact assessable development not specifically identified in the level of assessment tables in Part 5 of this Planning Scheme.

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3, in Part 5.

9.4.6.2 Purpose

The purpose of the Parking, access and loading code is to ensure:

- (1) levels of access, convenience and efficiency are appropriate to Mount Isa's climate, typical vehicle size and modal split; and
- (2) parking, access and service areas are provided in a manner which is safe, convenient and sustainable and which meets the needs of development; and
- (3) the impact of parking, access and loading on the amenity of the surrounding areas is managed and minimised.

The purpose of the code will be achieved through the following overall outcomes:

- (1) Access, parking, loading and maneuvering areas provided in a safe and efficient manner.
- (2) Access, parking, loading and maneuvering areas do not detract from streetscape character and do not impact on the amenity of nearby land uses.
- (3) Development facilitates cycling and end of trip facilities.

9.4.6.3 Assessment benchmarks

Table 9.4.6.1 – Parking, access and loading code:

- Assessment benchmarks for assessable development and
- requirements for accepted development

Performance outcomes	Acceptable outcomes	
Access		
PO 1 The layout, design and construction of the access: (a) is safe, convenient and legible for all users including people with disabilities, pedestrians and cyclists; and (b) does not interfere with the planned function, safety, capacity and operation of the transport network; and (c) includes appropriate and sufficient signage to ensure safe and convenient use.	A0 1.1 Vehicle access to the <i>site</i> complies with Australian Standard AS2890.1-2004 <i>Parking facilities – Off-street car parking</i> . A0 1.2 Dedicated pedestrian entry to the <i>site</i> and building is provided separately from vehicle entry and maneuvering areas. A01.3 Except where for a <i>dwelling house</i> or <i>dual occupancy</i>, the development layout allows for forward entry and exit of vehicles.	Complies. The development utilises the existing access arrangements to Brett Avenue and maintains safe vehicle access to the allotment. Complies. The site contains clear pedestrian access arrangements separate from vehicle parking areas. Complies. The proposal relates to a dwelling house and ancillary shed. Vehicle access and manoeuvring can occur safely within the site.
PO 2 A suitable crossover is provided that does not compromise existing <i>landscaping</i> .	A0 2.1 Except in the Rural and Rural residential zones, dedicated vehicular access across the verge is provided which complies with Schedule 6: Engineering works and services planning scheme policy . A0 2.2 No street trees are removed.	Complies. The proposal utilises the existing approved crossover from Brett Avenue and does not require alterations to the road verge. Complies. No street trees are affected by the proposed works.

PO 3 Driveway widths are minimised to maintain amenity and character of local area.	AO 3.1 Maximum total driveway widths are: (a) 6 metres for an allotment where principal use is a <i>residential activity</i>; or (b) 16 metres or 50 per cent of the length of the <i>road frontage</i>, whichever is the lesser for an allotment where principal use is a <i>centre activity, entertainment activity</i> or <i>Industry activity</i>; or (c) 6 metres where the principal use is not indicated in (a) or (b) above. Note—For the purposes of this requirement the width of the driveway is to be measured at the boundary between the allotment and the road reserve carriageway.	Complies. The existing driveway width is retained and remains appropriate for the residential activity conducted on the allotment.
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Performance outcomes	Acceptable outcomes	
Vehicle Parking		
PO 4 Sufficient parking spaces are provided for the number and type of vehicles likely to be associated with the development.	AO 4.1 Development complies with the parking requirements in Table 9.4.6.3 and Table 9.4.6.3(b) Minimum on-site parking requirements AO 4.2 No additional parking is required where a single use: (a) is located in the Principal centre zone; and (b) utilises an existing building (where not increasing the GFA by more than 50m²); and (c) comprises a total GFA of not more than 100m²; and (d) does not result in the loss of any existing car parks. AO 4.3 The parking spaces are located on the same lot as the use for which they are required, and are available for parking at all times that the use is being carried out. AO 4.4 All parking, access and maneuvering requirements are met on-site.	Complies. The proposal provides sufficient onsite vehicle parking. Existing parking is retained and three additional covered parking spaces are provided within the shed Not Applicable. The site is not located within the Principal Centre Zone. Complies. All parking spaces are located on the subject allotment and remain available for use by residents and visitors. Complies. All vehicle parking, access and manoeuvring requirements can be accommodated onsite.

PO 5 Vehicle parking areas are designed, constructed and maintained so as to provide safe and efficient parking and circulation for vehicles, cyclists and pedestrians.	AO 5.1 Vehicle parking and access areas: (a) are sealed with a durable, material that will reduce the amount of dust generated by vehicle movement; and (b) are clearly delineated; and (c) comply with <i>Australian Standard AS2890.1-2004 Parking facilities – Off-street car parking in relation to crossovers, queuing, circulation, gradient, overall design and operation (except in the case of a dual occupancy).</i>	Complies. The existing driveway and parking arrangements provide safe and efficient vehicle movement throughout the site.
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Table 9.4.6.2 – Parking, access and loading code:

• **Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
Access		
PO 1 The layout, design and construction of access: (a) is safe, convenient and legible for all users including people with disabilities, pedestrians and cyclists; and (b) does not interfere with the planned function, safety, capacity and operation of the transport network; and (c) includes appropriate and sufficient signage to ensure safe and convenient use.	No acceptable outcome is prescribed.	Complies. The existing driveway and parking arrangements provide safe and efficient vehicle movement throughout the site.
PO 2 On-site parking and vehicle manoeuvring areas are located and designed to minimise conflicts and hazards between motor vehicles and pedestrians.	No acceptable outcome is prescribed.	Complies. The existing driveway and parking arrangements provide safe and efficient vehicle movement throughout the site.
PO 3 For <i>hardware and trade supplies</i> , on-site parking and vehicle manoeuvring areas for vehicles with trailers are located to minimise conflicts and hazards between motor vehicles and pedestrians.	AO 3.1 On-site parking and manoeuvring areas are provided for vehicles with trailers separate from the main car park area and pedestrian access.	Not Applicable. The proposal is not for Hardware and Trade Supplies.
PO 4 Convenient access is provided for vehicles (including taxis) carrying wheelchair bound passengers.	AO 4 Where for a <i>health care services</i> use involving a medical centre, a drop off / set down area is provided at the entrance to the medical centre.	Not Applicable. The proposal is not for a Health Care Service involving a medical centre.
Amenity		

PO 5 The amenity of adjoining <i>residential activities</i> is not diminished by lighting and noise impact from vehicle parking areas.	AO 5.1 Parking areas are fenced with a 1.8-metre-high solid screen wall or fence at the common boundary with any land in the Low density residential or Medium density residential zone or adjacent to any <i>sensitive land use</i>.	Complies. The development will not generate lighting or noise impacts from parking areas and therefore will not reduce the amenity of adjoining residential properties.
Service vehicles		
PO 6 Provision is made for vehicle loading and unloading to be carried out in a safe and efficient manner on-site and does not utilise the public carriageway.	AO 6.1 The design and operation of vehicle loading and unloading areas complies with Australian Standard AS2890.2-2002 <i>Parking facilities – Commercial vehicle facilities</i>. AO 6.2 Adequate circulation space is to be provided on-site for delivery and collection vehicles in accordance with the standard turning templates given in Austroads publication no AP - G34 -13: Design Vehicles and Turning Path Templates (1995).	Not Applicable. The proposal does not generate commercial loading or unloading activities. Not Applicable. Commercial loading facilities are not required for the proposed development.

- **Assessment benchmarks for assessable development only**

[illegible]

PO 8

Parking areas located external to a building and ancillary to the development provide shade by way of mature trees or shade structures.

AO 8.1

All parking areas are shaded by either:

- (a) shade trees at a maximum spacing of 1 shade tree per 4 car parks planted to achieve mature form; or
- (b) a shade structure that is set back from the street and consistent with the character of the area.

Shade structures may be in the form of awnings, pergolas, shelters or shade sails manufactured from long lasting UV stable materials that are vandal resistant and require minimal ongoing maintenance, or permanent structures of colorbond or similar roofing.

Note—unenclosed shade structures solely for parking purposes are not included for the purposes of Site Cover calculation.

Complies.

Three covered parking spaces are provided within the proposed shed structure.

Table 9.4.6.2 – Parking, access and loading code:

- Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
Bicycle and Pedestrian Facilities		
PO 9 Development provides appropriate on-site end of trip facilities including bicycle parking, shower and change rooms to encourage walking and cycling as an alternative to private car travel.	AO 9.1 Development provides on-site bicycle parking spaces at the minimum rates specified in Table 9.4.6.3(a) and Table 9.4.6.3(b) Minimum on-site parking requirements AO 9.2 Development provides bicycle parking and storage that: (a) is identifiable, convenient and safely accessible; and (b) does not adversely impact on visual amenity; and (c) does not impede the movement of pedestrians or other vehicles. AO 9.3 Development provides bicycle end of trip facilities including: (a) shower facilities; and (b) bicycle storage; and (c) personal storage. For <i>long-stay</i> bicycle parking, facilities are provided in accordance with Table 9.4.6.4 Minimum standards for bicycle <i>long-stay</i> end of trip facilities.	Not Applicable. No bicycle parking is required for a dwelling house and ancillary shed. Not Applicable. No bicycle parking facilities are required. Not Applicable. No end-of-trip bicycle facilities are required.

Table 9.4.6.3 (a) Minimum on-site parking requirements

For the purpose of interpreting column 5 – **Service vehicle provision** rate the following definitions apply:

No specific rate	Required number of parking spaces (of facilities for service vehicles) will be based on the circumstances of the specific proposal and assessed against the performance criteria and information provided with the application.
SRV	Small Rigid Vehicle (for vehicle dimensions and manoeuvring requirements see Australian Standard AS 2890.2 – Off Street Parking – Commercial Vehicle Facilities)
HRV	Heavy Rigid Vehicle (for vehicle dimensions and manoeuvring requirements see Australian Standard AS 2890.2 – Off Street Parking – Commercial Vehicle Facilities)
AV	Articulated Vehicle (for vehicle dimensions and manoeuvring requirements see Australian Standard AS 2890.2 – Off Street Parking – Commercial Vehicle Facilities)

Note—where a traffic impact assessment (TIA) is required below, it must be prepared by a register professional engineer. (RPAQ)

Table 9.4.6.3 (b) Minimum on-site parking requirements

Use	Minimum number of vehicle parking spaces	Minimum number of bicycle parking spaces (short stay) i.e. Visitor/shopper	Minimum number of bicycle parking spaces (<i>long-stay</i>) i.e. Employee/resident	Service vehicle provision	Comment
<i>Dwelling unit</i>	1 space per <i>dwelling</i> with up to 2 bedrooms, 2 spaces per <i>dwelling</i> for a <i>dwelling</i> with 3+ bedrooms (parking spaces may be provided in tandem)	No specific rate	No specific rate	No specific rate	<i>Complies.</i>

Table 9.4.6.4 Minimum standards for bicycle *long-stay* end of trip facilities

No. <i>long-stay</i> bicycle spaces provided	No. lockers	No. Showers
1-2	1-2	0
3-5	3-5	1

6-10	6-10	2 (one male, one female)
11-20	11-20	2 (one male, one female)
More than 20	20 or more	4 (two male, two female) Plus, Additional showers at the rate of 2 showers (one male, one female) for every 1 <i>long-stay</i> parking space over 20 provided thereafter

9.3.7.1 Application

This code applies to:

- (3) accepted development subject to requirements and assessable development identified as requiring assessment against the Engineering works and services code in the tables of assessment in Part 5 of this Planning Scheme; and
- (4) all impact assessable development not specifically identified in the categories of development and assessment tables in Part 5 of this Planning Scheme.

When using this code, reference should be made to section 5.3.2 and, where applicable, section 5.3.3, in Part 5.

9.3.7.2 Purpose

The purpose of the Engineering works and services code is to ensure that development is provided with an appropriate level of infrastructure and services that are sustainable, safe and consistent with the setting in which the development is located.

The purpose of the code will be achieved through the following overall outcomes:

- (12) Appropriate infrastructure and services are provided to support land use and development in a manner that avoids adverse effects on the environment and community wellbeing;
- (13) Infrastructure and services meet the current and future needs of the community, whilst being safe and not increasing hazards;
- (14) Infrastructure and services do not negatively impact the amenity of the locality;
- (15) Infrastructure and services are well placed to ensure they are convenient for users and for maintenance;
- (16) Infrastructure and services are well integrated with surrounding infrastructure and service networks;
- (17) Development over or near infrastructure does not compromise or interfere with its effective operation or level of service;
- (18) Infrastructure and services do not cause unacceptable off-site impacts on the natural environment or adjacent properties;
- (19) Infrastructure is provided at minimum cost to the community for the life of the infrastructure and has a suitable design life, is easy and cost effective to maintain and replace; and
- (20) The site is suitable for the provision of infrastructure and services.

9.3.7 Engineering works and services code

9.3.7.3 Assessment benchmarks

Table 9.4.2.1 – Engineering works and services code:

- Assessment benchmarks for assessable development and
- Requirements for accepted development

Performance outcomes	Acceptable outcomes	
Infrastructure services		
PO 1 Development is provided with a water supply that is adequate for the current and future needs of the intended uses.	AO 1.1 Development is connected to the reticulated water supply infrastructure network and is designed and constructed in accordance with Schedule 6: Engineering works and services planning scheme policy .	Complies. The site is connected to reticulated water infrastructure and adequate water supply is available to service the proposed development.
PO 2 Development has a safe and effective means of sewerage treatment and disposal for the level of demand generated.	AO 2.1 Development is connected to the reticulated sewerage infrastructure network and is designed and constructed in accordance with Schedule 6: Engineering works and services planning scheme policy .	Complies. The site is connected to reticulated sewerage infrastructure capable of servicing the proposed development.
PO 3 Development is provided with an appropriate energy supply approved by and installed in accordance with the standards of the relevant energy regulatory authority.	AO 3.1 • Development is connected to the reticulated electricity infrastructure network; or • An alternative energy supply is provided in accordance with the standards of the relevant regulatory authority.	Complies. The site is supplied with reticulated electricity and has sufficient capacity to service the proposed shed.
PO 4 Development is connected to appropriate telecommunications infrastructure.	AO 4.1 Development is connected to telecommunication infrastructure in accordance with the standards of the relevant regulatory authority.	Complies. Telecommunications services are available to the allotment.

PO 5 Development provides safe and sufficient lighting and signage.	AO 5.1 Street lighting must comply with <i>d Australian Standard 1158 Set:2010 Lighting for Roads and Public Spaces..</i> AO 5.2 Road signage is provided in accordance with Schedule 6: Engineering works and services planning scheme policy.	Complies. No additional public street lighting is required as part of the proposed development. Complies. No additional road signage is required as part of the proposed development.
PO 6 Development has a safe and effective means of sewerage treatment and disposal for the level of demand generated.	AO 6.1 Where a connection to the reticulated sewerage infrastructure network is not available, sufficient area is to be provided on the development site for an appropriately sized on-site effluent treatment and disposal system to meet the needs of the development.	Complies. Reticulated sewer infrastructure is available and no onsite effluent disposal system is required.

Table 9.4.2.1 – Engineering works and services code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
Protection against natural hazards		
PO 7 Essential services maintain their function during the occurrence of natural hazards.	AO 7.1 Components of the systems that deliver electricity supply, gas supply, water supply, sewerage and telecommunications services, that will be adversely affected by the inundation by or infiltration of floodwater are: (h) located above the 1 in 100-year <i>Annual recurrence interval (ARI)</i> flood level; or (i) designed and constructed to exclude inundation of floodwater during the 1 per cent AEP; or (j) designed to resist the hydrostatic and hydrodynamic forces that result from such inundation.	Complies. The development will connect to existing infrastructure services and will not adversely affect the operation of essential services during natural hazard events.
Roads and access		

PO 8

Roads and access are designed and constructed to ensure that:

- (g) the alignment of new roads provides for safe and efficient movement of traffic; and
- (h) road pavement surfaces:
 - are durable enough to carry estimated wheel loads of travelling and parked vehicles; and
 - provide for the safe passage of vehicles, pedestrians and cyclists; and
 - provide for the discharge of stormwater run-off from contributing catchments; and
 - preserve all-weather access; and
- (i) kerb and channel:
 - controls vehicle movement by delineating the carriageway for all users; and
 - conveys road pavement runoff to stormwater drainage; and
- (j) verges and footpaths provide:
 - safe access for pedestrians clear of obstructions; and
 - an access area for vehicles onto properties; and
 - a corridor allocated for public utilities; and
 - additional amenity for minor roads.

AO 8.1

Roads are designed and constructed in accordance with **Schedule 6: Engineering works and services planning scheme policy**.

Complies.

The proposal utilises existing road and access infrastructure and does not require construction of new roads.

Table 9.4.2.1 – Engineering works and services code:

- **Assessment benchmarks for assessable development and**
- **Requirements for accepted development**

Performance outcomes	Acceptable outcomes	
Stormwater drainage		
PO 9 Stormwater drainage systems or networks have the capacity to control stormwater flows so that: • overland runoff is directed to areas where there is no damage to property or hazards for motorists; and • runoff is directed to a lawful point of discharge through controlled outlet structures; and • development retains the existing hydrological regime (surface and groundwater cycle and flow) to protect vegetation and habitats in and adjoining watercourses.	AO 9.1 All stormwater runoff from surfaces that are constructed, altered or otherwise affected by development on an allotment is discharged to a lawful point of discharge. AO 9.2 Development does not require the use of stormwater pumps in order to achieve a lawful point of discharge. AO 9.3 Stormwater drainage is designed and constructed in accordance with Schedule 6: Engineering works and services planning scheme policy . AO 9.4 Where the stormwater drainage system includes an underground pipe drain system, runoff from roofs and paved areas is to be connected directly to the pipe drain system.	Complies. Stormwater from the proposed shed roof will discharge to Brett Avenue as the lawful point of discharge. Complies. Stormwater pumps are not required for the proposed development. Complies. Stormwater infrastructure associated with the shed will be installed in accordance with accepted engineering standards. Complies. Roof water from the proposed shed will be collected and discharged via appropriate stormwater infrastructure to the lawful point of discharge.

Table 9.4.2.2 – Engineering works and services code:

- Assessment benchmarks for assessable development only**

Performance outcomes	Acceptable outcomes	
Infrastructure services		
PO 1 Development is provided with a water supply that is adequate and safe for the current and future needs of the intended uses.	AO 1.1 Where a connection to the reticulated water supply is not available, a water supply is to be provided to the development that is: suitable for human consumption in accordance with the National Health and Medical Research Council's Australian Drinking Water Guidelines, 2011 as updated from time to time; and sized and designed to meet the water usage requirements of the development.	Not Applicable. Reticulated water infrastructure is available to the site.
Location of underground services		
PO 2 The location of underground services does not impede future development.	AO 2.1 Where underground services cross another person's land to service the development, the services are to be located parallel to and within 2 metres of an allotment boundary AO 2.2 Services are not located over a part of a lot that may in future be a suitable location for a development.	Complies. No underground services crossing adjoining properties are proposed. Complies. No underground infrastructure is proposed that would impede future development opportunities.
Stormwater drainage		

[illegible]

Summary

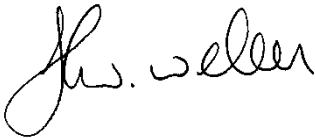
The proposal is for the construction of a 112m² domestic shed at 60 Brett Avenue, Healy with the site being more particularly described as Lot 61 on MPH40093.

The is considered to generally comply with the intent of the Mount Isa City Planning Scheme 2020. Whilst the development does not comply with the side boundary setback provisions and exceeds the 100m² maximum outbuilding area prescribed by the Residential Activities Code, assessment against the relevant Performance Outcomes demonstrates that the development will not adversely impact the amenity of adjoining residential properties, the streetscape character of the locality, or the function of surrounding residential allotments.

The shed is of an appropriate scale, remains subordinate to the existing dwelling house, maintains compliant site coverage, and is consistent with the established pattern of development in the surrounding area. The proposal is therefore considered to meet the intent of the Residential Activities Code and the Planning Scheme as a whole. Your positive consideration of the proposal would be most appreciated.

Should you have any further queries please do not hesitate to Harald on 4054 4588 or at harald@acapprovals.com.au.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'H. Weber', written in a cursive style.

Harald Weber A73379

Manager

All Construction Approvals.

29/08/2026

Appendix 1 –DA Forms

DA Form 1 – Development application details

Approved form (version 1.6 effective 2 August 2024) made under section 282 of the Planning Act 2016.

This form must be used to make a development application **involving code assessment or impact assessment**, except when applying for development involving only building work.

For a development application involving **building work only**, use *DA Form 2 – Building work details*.

For a development application involving **building work associated with any other type of assessable development (i.e. material change of use, operational work or reconfiguring a lot)**, use this form (*DA Form 1*) and parts 4 to 6 of *DA Form 2 – Building work details*.

Unless stated otherwise, all parts of this form must be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the Transport Infrastructure Act 1994, and airport land under the Airport Assets (Restructuring and Disposal) Act 2008. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Adam Chirio
Contact name (only applicable for companies)	C/- All Construction Approvals
Postal address (P.O. Box or street address)	P O Box 331
Suburb	Edmonton
State	QLD
Postcode	4869
Country	Australia
Contact number	40 544 588
Email address (non-mandatory)	harald@acapprovals.com.au; info@acapprovals.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	32217

2) Owner's consents	
2.1) Is written consent of the owner required for this development application?	
☒	Yes – the written consent of the owner(s) is attached to this development application
☐	No – proceed to 3)

PART 2 – LOCATION DETAILS

3) Location of the premises (complete 3.1) or 3.2), and 3.3) as applicable)

Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see [DA Forms Guide: Relevant plans](#)

3.1) Street address and lot on plan

- ☒ Street address **AND** lot on plan (all lots must be listed), **or**
- ☐ Street address **AND** lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon; all lots must be listed).

a)	Unit No.	Street No.	Street Name and Type	Suburb
		60	Brett Avenue	Healy
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
	4825	61	MPH 40093	Mount Isa City Council
b)	Unit No.	Street No.	Street Name and Type	Suburb
	Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)

3.2) Coordinates of premises (appropriate for development in remote areas, over part of a lot or in water not adjoining or adjacent to land e.g. channel dredging in Moreton Bay)

Note: Place each set of coordinates in a separate row.

- ☐ Coordinates of premises by longitude and latitude

Longitude(s)	Longitude(s)	Datum	Local Government Area(s) (if applicable)
		☐ WGS84 ☐ GDA94 ☐ Other:	

- ☐ Coordinates of premises by easting and northing

Longitude(s)	Longitude(s)	Zone Ref	Datum	Local Government Area(s) (if applicable)
		☐ 54 ☐ 55 ☐ 56	☐ WGS84 ☐ GDA94 ☐ Other:	

3.3) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☒ Not required

4) Identify any of the following that apply to the premises and provide any relevant details

- ☐ In or adjacent to a water body or watercourse or in or above an aquifer

Name of water body, watercourse or aquifer:

- ☐ On strategic port land under the *Transport Infrastructure Act 1994*

Lot on plan description of strategic port land:

Name of port authority for the lot:

- ☐ In a tidal area

Name of local government for the tidal area (if applicable):

Name of port authority for tidal area (if applicable):

☐	On airport land under the <i>Airport Assets (Restructuring and Disposal) Act 2008</i>
Name of airport:	
☐	Listed on the Environmental Management Register (EMR) under the <i>Environmental Protection Act 1994</i>
EMR site identification:	
☐	Listed on the Contaminated Land Register (CLR) under the <i>Environmental Protection Act 1994</i>
CLR site identification:	

5) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see DA Forms Guide.

☐	Yes – All easement locations, types and dimensions are included in plans submitted with this development application
☒	No

PART 3 – DEVELOPMENT DETAILS

Section 1 – Aspects of development

6.1) Provide details about the first development aspect

a) What is the type of development? <i>(tick only one box)</i>			
☐ Material change of use	☐ Reconfiguring a lot	☐ Operational work	☒ Building work
b) What is the approval type? <i>(tick only one box)</i>			
☒ Development permit	☐ Preliminary approval	☐ Preliminary approval that includes a variation approval	
c) What is the level of assessment?			
☒ Code assessment	☐ Impact assessment <i>(requires public notification)</i>		
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>			
New Construction of Shed			
e) Relevant plans			
<i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>			
☒ Relevant plans of the proposed development are attached to the development application			

6.2) Provide details about the second development aspect

a) What is the type of development? <i>(tick only one box)</i>			
☐ Material change of use	☐ Reconfiguring a lot	☐ Operational work	☐ Building work
b) What is the approval type? <i>(tick only one box)</i>			
☐ Development permit	☐ Preliminary approval	☐ Preliminary approval that includes a variation approval	
c) What is the level of assessment?			
☐ Code assessment	☐ Impact assessment <i>(requires public notification)</i>		
d) Provide a brief description of the proposal <i>(e.g. 6 unit apartment building defined as multi-unit dwelling, reconfiguration of 1 lot into 3 lots):</i>			
e) Relevant plans			
<i>Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms guide: Relevant plans.</i>			
☐ Relevant plans of the proposed development are attached to the development application			

6.3) Additional aspects of development

- ☐ Additional aspects of development are relevant to this development application and the details for these aspects that would be required under Part 3 Section 1 of this form have been attached to this development application
- ☒ Not required

6.4) Is the application for State facilitated development?

- ☐ Yes - Has a notice of declaration been given by the Minister?
- ☒ No

Section 2 – Further development details

7) Does the proposed development application involve any of the following?

Material change of use	☐ Yes – complete division 1 if assessable against a local planning instrument
Reconfiguring a lot	☐ Yes – complete division 2
Operational work	☐ Yes – complete division 3
Building work	☒ Yes – complete <i>DA Form 2 – Building work details</i>

Division 1 – Material change of use

Note: This division is only required to be completed if any part of the development application involves a material change of use assessable against a local planning instrument.

8.1) Describe the proposed material change of use

Provide a general description of the proposed use	Provide the planning scheme definition (include each definition in a new row)	Number of dwelling units (if applicable)	Gross floor area (m ²) (if applicable)

8.2) Does the proposed use involve the use of existing buildings on the premises?

- ☐ Yes
- ☐ No

8.3) Does the proposed development relate to temporary accepted development under the Planning Regulation?

☐ Yes - provide details below or include details in a schedule to this development application	Specify the stated period dates under the Planning Regulation
☐ No	
Provide a general description of the temporary accepted development	

Division 2 – Reconfiguring a lot

Note: This division is only required to be completed if any part of the development application involves reconfiguring a lot.

9.1) What is the total number of existing lots making up the premises?

--

9.2) What is the nature of the lot reconfiguration? (tick all applicable boxes)

☐ Subdivision <i>(complete 10)</i>	☐ Dividing land into parts by agreement <i>(complete 11)</i>
☐ Boundary realignment <i>(complete 12)</i>	☐ Creating or changing an easement giving access to a lot from a construction road <i>(complete 13)</i>

10) Subdivision				
10.1) For this development, how many lots are being created and what is the intended use of those lots:				
Intended use of lots created	Residential	Commercial	Industrial	Other, please specify:
Number of lots created				

10.2) Will the subdivision be staged?	
☐ Yes ☐ No	
How many stages will the works include?	
What stage(s) will this development application apply to?	

11) Dividing land into parts by agreement – how many parts are being created and what is the intended use of the parts?				
Intended use of parts created	Residential	Commercial	Industrial	Other, please specify:
Number of parts created				

12) Boundary realignment			
12.1) What are the current and proposed areas for each lot comprising the premises?			
Current lot		Proposed lot	
Lot on plan description	Area (m ²)	Lot on plan description	Area (m ²)

12.2) What is the reason for the boundary realignment?

13) What are the dimensions and nature of any existing easements being changed and/or any proposed easement? (attach schedule if there are more than two easements)				
Existing or proposed?	Width (m)	Length (m)	Purpose of the easement? (e.g. pedestrian access)	Identify the land/lot(s) benefited by the easement

Division 3 – Operational work

Note: This division is only required to be completed if any part of the development application involves operational work.

14.1) What is the nature of the operational work?		
☐ Road work ☐ Drainage work ☐ Landscaping ☐ Other – please specify:	☐ Stormwater ☐ Earthworks ☐ Signage	☐ Water infrastructure ☐ Sewage infrastructure ☐ Clearing vegetation

14.2) Is the operational work necessary to facilitate the creation of new lots? (e.g. subdivision)	
☐ Yes – specify number of new lots:	
☐ No	

14.3) What is the monetary value of the proposed operational work? (include GST, materials and labour)

\$

PART 4 – ASSESSMENT MANAGER DETAILS

15) Identify the assessment manager(s) who will be assessing this development application

Mount Isa City Council

16) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ Local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☒ No

PART 5 – REFERRAL DETAILS

17) Do any aspects of the proposed development require referral for any referral requirements?

Note: A development application will require referral if prescribed by the Planning Regulation 2017.

- ☒ No, there are no referral requirements relevant to any development aspects identified in this development application – proceed to Part 6

Matters requiring referral to the **Chief Executive of the Planning Act 2016:**

- ☐ Clearing native vegetation
- ☐ Contaminated land (*unexploded ordnance*)
- ☐ Environmentally relevant activities (ERA) (*only if the ERA have not been devolved to a local government*)
- ☐ Fisheries – aquaculture
- ☐ Fisheries – declared fish habitat area
- ☐ Fisheries – marine plants
- ☐ Fisheries – waterway barrier works
- ☐ Hazardous chemical facilities
- ☐ Heritage places - Queensland heritage place (*on or near a Queensland heritage place*)
- ☐ Infrastructure-related referrals – designated premises
- ☐ Infrastructure-related referrals – state transport infrastructure
- ☐ Infrastructure-related referrals – State transport corridors and future State transport corridors
- ☐ Infrastructure-related referrals – State-controlled transport tunnels and future state-controlled transport tunnels
- ☐ Infrastructure-related referrals – near a state-controlled road intersection
- ☐ Koala habitat in SEQ region – interfering with koala habitat in koala habitat areas outside koala priority areas
- ☐ Koala habitat in SEQ region – key resource areas
- ☐ Ports – Brisbane core port land - near a State transport corridor or future State transport corridor
- ☐ Ports – Brisbane core port land – environmentally relevant activity (ERA)
- ☐ Ports – Brisbane core port land – tidal works or work in a coastal management district
- ☐ Ports – Brisbane core port land – hazardous chemical facility
- ☐ Ports – Brisbane core port land – taking or interfering with water
- ☐ Ports – Brisbane core port land – referable dams
- ☐ Ports – Brisbane core port land – fisheries
- ☐ Ports – Land within Port of Brisbane's port limits (*below high-water mark*)
- ☐ SEQ development area
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – tourist activity or sport and recreation activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – community activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – indoor recreation
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – urban activity
- ☐ SEQ regional landscape and rural production area or SEQ rural living area – combined use
- ☐ SEQ northern inter-urban break – tourist activity or sport and recreation activity

☐ SEQ northern inter-urban break – community activity ☐ SEQ northern inter-urban break – indoor recreation ☐ SEQ northern inter-urban break – urban activity ☐ SEQ northern inter-urban break – combined use ☐ Tidal works or works in a coastal management district ☐ Reconfiguring a lot in a coastal management district or for a canal ☐ Erosion prone area in a coastal management district ☐ Urban design ☐ Water-related development – taking or interfering with water ☐ Water-related development – removing quarry material (<i>from a watercourse or lake</i>) ☐ Water-related development – referable dams ☐ Water-related development – levees (<i>category 3 levees only</i>) ☐ Wetland protection area
Matters requiring referral to the local government: ☐ Airport land ☐ Environmentally relevant activities (ERA) (<i>only if the ERA have been devolved to local government</i>) ☐ Heritage places – Local heritage places
Matters requiring referral to the Chief Executive of the distribution entity or transmission entity: ☐ Infrastructure-related referrals – Electricity infrastructure
Matters requiring referral to: • The Chief executive of the holder of the licence, if not an individual • The holder of the licence, if the holder of the licence is an individual ☐ Infrastructure-related referrals – Oil and gas infrastructure
Matters requiring referral to the Brisbane City Council: ☐ Ports – Brisbane core port land
Matters requiring referral to the Minister responsible for administering the Transport Infrastructure Act 1994: ☐ Ports – Brisbane core port land (<i>where inconsistent with the Brisbane port LUP for transport reasons</i>) ☐ Ports – Strategic port land
Matters requiring referral to the relevant port operator, if applicant is not port operator: ☐ Ports – Land within Port of Brisbane's port limits (<i>below high-water mark</i>)
Matters requiring referral to the Chief Executive of the relevant port authority: ☐ Ports – Land within limits of another port (<i>below high-water mark</i>)
Matters requiring referral to the Gold Coast Waterways Authority: ☐ Tidal works or work in a coastal management district (<i>in Gold Coast waters</i>)
Matters requiring referral to the Queensland Fire and Emergency Service: ☐ Tidal works or work in a coastal management district (<i>involving a marina (more than six vessel berths)</i>)

18) Has any referral agency provided a referral response for this development application?		
☐ Yes – referral response(s) received and listed below are attached to this development application ☒ No		
Referral requirement	Referral agency	Date of referral response
Identify and describe any changes made to the proposed development application that was the subject of the referral response and this development application, or include details in a schedule to this development application (<i>if applicable</i>).		

PART 6 – INFORMATION REQUEST

19) Information request under the DA Rules

- ☒ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties
 - Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.
 - Part 2 under Chapter 2 of the DA Rules will apply if the application is for state facilitated development
- Further advice about information requests is contained in the [DA Forms Guide](#).

PART 7 – FURTHER DETAILS

20) Are there any associated development applications or current approvals? (e.g. a preliminary approval)

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☒ No

List of approval/development application references	Reference number	Date	Assessment manager
☐ Approval			
☐ Development application			
☐ Approval			
☐ Development application			

21) Has the portable long service leave levy been paid? (only applicable to development applications involving building work or operational work)

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid
- ☒ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

Amount paid	Date paid (dd/mm/yy)	QLeave levy number (A, B or E)
\$		

22) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
- ☒ No

23) Further legislative requirements

Environmentally relevant activities

23.1) Is this development application also taken to be an application for an environmental authority for an **Environmentally Relevant Activity (ERA)** under section 115 of the *Environmental Protection Act 1994*?

- ☐ Yes – the required attachment (form ESR/2015/1791) for an application for an environmental authority accompanies this development application, and details are provided in the table below
- ☒ No

Note: Application for an environmental authority can be found by searching “ESR/2015/1791” as a search term at www.qld.gov.au. An ERA requires an environmental authority to operate. See www.business.qld.gov.au for further information.

Proposed ERA number:		Proposed ERA threshold:	
Proposed ERA name:			
☐ Multiple ERAs are applicable to this development application and the details have been attached in a schedule to this development application.			

Hazardous chemical facilities

23.2) Is this development application for a **hazardous chemical facility**?

- ☐ Yes – *Form 536: Notification of a facility exceeding 10% of schedule 15 threshold* is attached to this development application
- ☒ No

Note: See www.business.qld.gov.au for further information about hazardous chemical notifications.

Clearing native vegetation

23.3) Does this development application involve **clearing native vegetation** that requires written confirmation that the chief executive of the *Vegetation Management Act 1999* is satisfied the clearing is for a relevant purpose under section 22A of the *Vegetation Management Act 1999*?

- ☐ Yes – this development application includes written confirmation from the chief executive of the *Vegetation Management Act 1999* (s22A determination)
- ☒ No

Note: 1. Where a development application for operational work or material change of use requires a s22A determination and this is not included, the development application is prohibited development.
2. See <https://www.qld.gov.au/environment/land/vegetation/applying> for further information on how to obtain a s22A determination.

Environmental offsets

23.4) Is this development application taken to be a prescribed activity that may have a significant residual impact on a **prescribed environmental matter** under the *Environmental Offsets Act 2014*?

- ☐ Yes – I acknowledge that an environmental offset must be provided for any prescribed activity assessed as having a significant residual impact on a prescribed environmental matter
- ☒ No

Note: The environmental offset section of the Queensland Government's website can be accessed at www.qld.gov.au for further information on environmental offsets.

Koala habitat in SEQ Region

23.5) Does this development application involve a material change of use, reconfiguring a lot or operational work within an assessable development area under Schedule 10, Part 10 of the *Planning Regulation 2017*?

- ☐ Yes – the development application involves premises in the koala habitat area in the koala priority area
- ☐ Yes – the development application involves premises in the koala habitat area outside the koala priority area
- ☒ No

Note: If a koala habitat area determination has been obtained for this premises and is current over the land, it should be provided as part of this development application. See koala habitat area guidance materials at www.des.qld.gov.au for further information

Water resources

23.6) Does this development application involve **taking or interfering with underground water through an artesian or subartesian bore, taking or interfering with water in a watercourse, lake or spring, or taking overland flow water under the Water Act 2000?**

- ☐ Yes – the relevant template is completed and attached to this development application and I acknowledge that a relevant authorisation or licence under the Water Act 2000 may be required prior to commencing development

☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au for further information.

DA templates are available from <https://planning.dsdmip.qld.gov.au/>. If the development application involves:

- Taking or interfering with underground water through an artesian or subartesian bore: complete DA Form 1 Template 1
- Taking or interfering with water in a watercourse, lake or spring: complete DA Form 1 Template 2
- Taking overland flow water: complete DA Form 1 Template 3.

Waterway barrier works

23.7) Does this application involve **waterway barrier works?**

- ☐ Yes – the relevant template is completed and attached to this development application

☒ No

DA templates are available from planning.statedevelopment.qld.gov.au. For a development application involving waterway barrier works, complete DA Form 1 Template 4.

Marine activities

23.8) Does this development application involve **aquaculture, works within a declared fish habitat area or removal, disturbance or destruction of marine plants?**

- ☐ Yes – an associated resource allocation authority is attached to this development application, if required under the Fisheries Act 1994

☒ No

Note: See guidance materials at <http://www.daf.qld.gov.au/> for further information.

Quarry materials from a watercourse or lake

23.9) Does this development application involve the **removal of quarry materials from a watercourse or lake** under the Water Act 2000?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Resources at www.resources.qld.gov.au and www.business.qld.gov.au for further information.

Quarry materials from land under tidal waters

23.10) Does this development application involve the **removal of quarry materials from land under tidal water** under the Coastal Protection and Management Act 1995?

- ☐ Yes – I acknowledge that a quarry material allocation notice must be obtained prior to commencing development

☒ No

Note: Contact the Department of Environment and Science at www.des.qld.gov.au for further information.

Referable dams

23.11) Does this development application involve a **referable dam** required to be failure impact assessed under section 343 of the Water Supply (Safety and Reliability) Act 2008 (the Water Supply Act)?

- ☐ Yes – the 'Notice Accepting a Failure Impact Assessment' from the chief executive administering the Water Supply Act is attached to this development application

☒ No

Note: See guidance materials at www.resources.qld.gov.au for further information.

Tidal work or development within a coastal management district

23.12) Does this development application involve **tidal work or development in a coastal management district**?

- ☐ Yes – the following is included with this development application:
- ☐ Evidence the proposal meets the code for assessable development that is prescribed tidal work (*only required if application involves prescribed tidal work*)
 - ☐ A certificate of title
- ☒ No

Note: See guidance materials at www.des.qld.gov.au for further information.

Queensland and local heritage places

23.13) Does this development application propose development on or adjoining a place entered in the **Queensland heritage register** or on a place entered in a local government's **Local Heritage Register**?

- ☐ Yes – details of the heritage place are provided in the table below
- ☒ No

Note: See guidance materials at www.desi.qld.gov.au for information requirements regarding development of Queensland heritage places. For a heritage place that has cultural heritage significance as a local heritage place and a Queensland heritage place, provisions are in place under the Planning Act 2016 that limit a local categorising instrument from including an assessment benchmark about the effect or impact of, development on the stated cultural heritage significance of that place. See guidance materials at www.planning.statedevelopment.qld.gov.au for information regarding assessment of Queensland heritage places.

Name of the heritage place:

Place ID:

Decision under section 62 of the Transport Infrastructure Act 1994

23.14) Does this development application involve new or changed access to a state-controlled road?

- ☐ Yes - this application will be taken to be an application for a decision under section 62 of the Transport Infrastructure Act 1994 (subject to the conditions in section 75 of the Transport Infrastructure Act 1994 being satisfied)
- ☒ No

Walkable neighbourhoods assessment benchmarks under Schedule 12A of the Planning Regulation

23.15) Does this development application involve reconfiguring a lot into 2 or more lots in certain residential zones (except rural residential zones), where at least one road is created or extended?

- ☐ Yes – Schedule 12A is applicable to the development application and the assessment benchmarks contained in schedule 12A have been considered
- ☒ No

Note: See guidance materials at www.planning.statedevelopment.qld.gov.au for further information

PART 8 – CHECKLIST AND APPLICANT DECLARATION

24) Development application checklist

I have identified the assessment manager in question 15 and all relevant referral requirement(s) in question 17 ☒ Yes

Note: See the Planning Regulation 2017 for referral requirements

If building work is associated with the proposed development, Parts 4 to 6 of [DA Form 2 – Building work details](#) have been completed and attached to this development application ☒ Yes ☐ Not applicable

Supporting information addressing any applicable assessment benchmarks is with the development application ☒ Yes

Note: This is a mandatory requirement and includes any relevant templates under question 23, a planning report and any technical reports required by the relevant categorising instruments (e.g. local government planning schemes, State Planning Policy, State Development Assessment Provisions). For further information, see [DA Forms Guide: Planning Report Template](#)

Relevant plans of the development are attached to this development application ☒ Yes ☐ No

Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see [DA Forms Guide: Relevant plans](#).

The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued (see 21) ☐ Yes ☒ Not applicable

25) Applicant declaration

- ☒ By making this development application, I declare that all information in this development application is true and correct
- ☒ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the *Electronic Transactions Act 2001*

Note: It is unlawful to intentionally provide false or misleading information.

Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any relevant referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website.

Personal information will not be disclosed for a purpose unrelated to the *Planning Act 2016*, Planning Regulation 2017 and the DA Rules except where:

- such disclosure is in accordance with the provisions about public access to documents contained in the *Planning Act 2016* and the Planning Regulation 2017, and the access rules made under the *Planning Act 2016* and Planning Regulation 2017; or
- required by other legislation (including the *Right to Information Act 2009*); or
- otherwise required by law.

This information may be stored in relevant databases. The information collected will be retained as required by the *Public Records Act 2002*.

PART 9 – FOR COMPLETION OF THE ASSESSMENT MANAGER - FOR OFFICE USE ONLY

Date received:

Reference number(s):

Notification of engagement of alternative assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work		
QLeave project number		
Amount paid (\$)		Date paid (dd/mm/yy)
Date receipted form sighted by assessment manager		
Name of officer who sighted the form		

DA Form 2 – Building work details

Approved form (version 1.2 effective 7 February 2020) made under Section 282 of the Planning Act 2016.

This form **must** be used to make a development application **involving building work**.

For a development application involving **building work only**, use this form (DA Form 2) only. The DA Forms Guide provides advice about how to complete this form.

For a development application involving **building work associated and any other type of assessable development** (i.e. material change of use, operational work or reconfiguring a lot), use DA Form 1 – Development application details and parts 4 to 6 of this form (DA Form 2).

Unless stated otherwise, all parts of this form **must** be completed in full and all required supporting information **must** accompany the development application.

One or more additional pages may be attached as a schedule to this development application if there is insufficient space on the form to include all the necessary information.

This form and any other form relevant to the development application must be used to make a development application relating to strategic port land and Brisbane core port land under the *Transport Infrastructure Act 1994*, and airport land under the *Airport Assets (Restructuring and Disposal) Act 2008*. For the purpose of assessing a development application relating to strategic port land and Brisbane core port land, any reference to a planning scheme is taken to mean a land use plan for the strategic port land, Brisbane port land use plan for Brisbane core port land, or a land use plan for airport land.

Note: All terms used in this form have the meaning given under the Planning Act 2016, the Planning Regulation 2017, or the Development Assessment Rules (DA Rules).

PART 1 – APPLICANT DETAILS

1) Applicant details	
Applicant name(s) (individual or company full name)	Adam Chirio
Contact name (only applicable for companies)	C/- All Construction Approvals
Postal address (PO Box or street address)	P O Box 331
Suburb	Edmonton
State	QLD
Postcode	4869
Country	Australia
Contact number	40 544 588
Email address (non-mandatory)	harald@acapprovals.com.au; info@acapprovals.com.au
Mobile number (non-mandatory)	
Fax number (non-mandatory)	
Applicant's reference number(s) (if applicable)	32217

PART 2 – LOCATION DETAILS

2) Location of the premises (complete 2.1 and/or 2.2 if applicable)	
Note: Provide details below and attach a site plan for any or all premises part of the development application. For further information, see DA Forms Guide: Relevant plans .	
2.1) Street address and lot on plan	
☐ Street address AND lot on plan (all lots must be listed), or	
☐ Street address AND lot on plan for an adjoining or adjacent property of the premises (appropriate for development in water but adjoining or adjacent to land e.g. jetty, pontoon. All lots must be listed).	

Unit No.	Street No.	Street Name and Type	Suburb
	60	Brett Avenue	Healy
Postcode	Lot No.	Plan Type and Number (e.g. RP, SP)	Local Government Area(s)
4825	61	MPH 40093	Mount Isa City Council

2.2) Additional premises

- ☐ Additional premises are relevant to this development application and the details of these premises have been attached in a schedule to this development application
- ☐ Not required

3) Are there any existing easements over the premises?

Note: Easement uses vary throughout Queensland and are to be identified correctly and accurately. For further information on easements and how they may affect the proposed development, see the [DA Forms Guide](#)

- ☐ Yes – All easement locations, types and dimensions are included in plans submitted with this development application
- ☐ No

PART 3 – FURTHER DETAILS

4) Is the application only for building work assessable against the building assessment provisions?

- ☐ Yes – (proceed to 8)
- ☐ No

5) Identify the assessment manager(s) who will be assessing this development application

Mount Isa City Council

6) Has the local government agreed to apply a superseded planning scheme for this development application?

- ☐ Yes – a copy of the decision notice is attached to this development application
- ☐ The local government is taken to have agreed to the superseded planning scheme request – relevant documents attached
- ☐ No

7) Information request under Part 3 of the DA Rules

- ☐ I agree to receive an information request if determined necessary for this development application
- ☐ I do not agree to accept an information request for this development application

Note: By not agreeing to accept an information request I, the applicant, acknowledge:

- that this development application will be assessed and decided based on the information provided when making this development application and the assessment manager and any referral agencies relevant to the development application are not obligated under the DA Rules to accept any additional information provided by the applicant for the development application unless agreed to by the relevant parties.
- Part 3 of the DA Rules will still apply if the application is an application listed under section 11.3 of the DA Rules.

Further advice about information requests is contained in the [DA Forms Guide](#).

8) Are there any associated development applications or current approvals?

- ☐ Yes – provide details below or include details in a schedule to this development application
- ☐ No

List of approval/development application	Reference	Date	Assessment manager
☐ Approval			
☐ Development application			
☐ Approval			
☐ Development application			

9) Has the portable long service leave levy been paid?

- ☐ Yes – a copy of the receipted QLeave form is attached to this development application
- ☐ No – I, the applicant will provide evidence that the portable long service leave levy has been paid before the assessment manager decides the development application. I acknowledge that the assessment manager may give a development approval only if I provide evidence that the portable long service leave levy has been paid

☐ Not applicable (e.g. building and construction work is less than \$150,000 excluding GST)

10) Is this development application in response to a show cause notice or required as a result of an enforcement notice?

- ☐ Yes – show cause or enforcement notice is attached
☐ No

11) Identify any of the following further legislative requirements that apply to any aspect of this development application

- ☐ The proposed development is on a place entered in the **Queensland Heritage Register** or in a local government's **Local Heritage Register**. See the guidance provided at www.des.qld.gov.au about the requirements in relation to the development of a Queensland heritage place

Name of the heritage place:

Place ID:

PART 4 – REFERRAL DETAILS

12) Does this development application include any building work aspects that have any referral requirements?

- ☐ Yes – the Referral checklist for building work is attached to this development application
☐ No – proceed to Part 5

13) Has any referral agency provided a referral response for this development application?

- ☐ Yes – referral response(s) received and listed below are attached to this development application
☐ No

Referral requirement	Referral agency	Date referral response

Identify and describe any changes made to the proposed development application that was the subject of the referral response and the development application the subject of this form, or include details in a schedule to this development application (if applicable)

PART 5 – BUILDING WORK DETAILS

14) Owner's details

- ☐ Tick if the applicant is also the owner and proceed to 15). Otherwise, provide the following information.

Name(s) (individual or company full name)	Adam Chirio
Contact name (applicable for companies)	
Postal address (P.O. Box or street address)	60 Brett Avenue
Suburb	Healy
State	QLD
Postcode	4825
Contact number	
Email address (non-mandatory)	adam.chirio@gmail.com
Mobile number (non-mandatory)	0437 851 292
Fax number (non-mandatory)	

15) Builder's details

- ☐ Tick if a builder has not yet been engaged to undertake the work and proceed to 16). Otherwise provide the following information.

Name(s) (individual or company full name)	Adam Chirio
Contact name (applicable for companies)	

QBCC licence or owner – builder number	OB158292
Postal address (<i>P.O. Box or street address</i>)	60 Brett Avenue
Suburb	Healy
State	QLD
Postcode	4825
Contact number	
Email address (<i>non-mandatory</i>)	adam.chirio@gmail.com
Mobile number (<i>non-mandatory</i>)	0437 851 292
Fax number (<i>non-mandatory</i>)	

16) Provide details about the proposed building work			
a) What type of approvals is being sought?			
☐ Development permit ☐ Preliminary approval			
b) What is the level of assessment?			
☐ Code assessment ☐ Impact assessment (<i>requires public notification</i>)			
c) Nature of the proposed building work (tick all applicable boxes)			
☐ New building or structure ☐ Change of building classification (<i>involving building work</i>) ☐ Demolition		☐ Repairs, alterations or additions ☐ Swimming pool and/or pool fence ☐ Relocation or removal	
d) Provide a description of the work below or in an attached schedule.			
New Construction of Shed			
e) Proposed construction materials			
External walls	☐ Double brick ☐ Brick veneer ☐ Stone/concrete	☐ Steel ☐ Timber ☐ Fibre cement	☐ Curtain glass ☐ Aluminium ☐ Other
Frame	☐ Timber ☐ Other	☐ Steel	☐ Aluminium
Floor	☐ Concrete	☐ Timber	☐ Other
Roof covering	☐ Slate/concrete ☐ Aluminium	☐ Tiles ☐ Steel	☐ Fibre cement ☐ Other
f) Existing building use/classification? (<i>if applicable</i>)			

g) New building use/classification? (if applicable)
10a
h) Relevant plans Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans .
☐ Relevant plans of the proposed works are attached to the development application
17) What is the monetary value of the proposed building work?
50,000.00
18) Has Queensland Home Warranty Scheme Insurance been paid?
☐ Yes – provide details below
☐ No

PART 6 – CHECKLIST AND APPLICANT DECLARATION

19) Development application checklist	
The relevant parts of <i>Form 2 – Building work details</i> have been completed	☐ Yes
This development application includes a material change of use, reconfiguring a lot or operational work and is accompanied by a completed <i>Form 1 – Development application details</i>	☐ Yes ☐ Not applicable
Relevant plans of the development are attached to this development application Note: Relevant plans are required to be submitted for all aspects of this development application. For further information, see DA Forms Guide: Relevant plans	☐ Yes
The portable long service leave levy for QLeave has been paid, or will be paid before a development permit is issued	☐ Yes ☐ Not applicable
20) Applicant declaration	
☐ By making this development application, I declare that all information in this development application is true and correct ☐ Where an email address is provided in Part 1 of this form, I consent to receive future electronic communications from the assessment manager and any referral agency for the development application where written information is required or permitted pursuant to sections 11 and 12 of the <i>Electronic Transactions Act 2001</i> Note: It is unlawful to intentionally provide false or misleading information.	
Privacy – Personal information collected in this form will be used by the assessment manager and/or chosen assessment manager, any referral agency and/or building certifier (including any professional advisers which may be engaged by those entities) while processing, assessing and deciding the development application. All information relating to this development application may be available for inspection and purchase, and/or published on the assessment manager's and/or referral agency's website. Personal information will not be disclosed for a purpose unrelated to the <i>Planning Act 2016</i> , Planning Regulation 2017 and the DA Rules except where: • such disclosure is in accordance with the provisions about public access to documents contained in the <i>Planning Act 2016</i> and the Planning Regulation 2017, and the access rules made under the <i>Planning Act 2016</i> and Planning Regulation 2017; or • required by other legislation (including the <i>Right to Information Act 2009</i>); or • otherwise required by law. This information may be stored in relevant databases. The information collected will be retained as required by the <i>Public Records Act 2002</i> .	

PART 7 –FOR COMPLETION BY THE ASSESSMENT MANAGER – FOR OFFICE USE ONLY

Date received: Reference numbers:

For completion by the building certifier

Classification(s) of approved building work

10a

Name	QBCC Certification Licence number	QBCC Insurance receipt number
Harald Weber	A73379	OB158292

Notification of engagement of alternate chosen assessment manager

Prescribed assessment manager	
Name of chosen assessment manager	
Date chosen assessment manager engaged	
Contact number of chosen assessment manager	
Relevant licence number(s) of chosen assessment manager	

Additional information required by the local government

Confirm proposed construction materials:

External walls	☐ Double brick ☐ Brick veneer ☐ Stone/concrete	☐ Steel ☐ Timber ☐ Fibre cement	☐ Curtain glass ☐ Aluminium ☐ Other
Frame	☐ Timber ☐ Other	☐ Steel	☐ Aluminium
Floor	☐ Concrete	☐ Timber	☐ Other
Roof covering	☐ Slate/concrete ☐ Aluminium	☐ Tiles ☐ Steel	☐ Fibre cement ☐ Other

QLeave notification and payment

Note: For completion by assessment manager if applicable

Description of the work			
QLeave project number	«_Qleave»		
Amount paid (\$)		Date paid (dd/mm/yy)	
Date receipted form sighted by assessment manager			
Name of officer who sighted the form			

Additional building details required for the Australian Bureau of Statistics

Existing building use/classification? <i>(if applicable)</i>			
New building use/classification?			
Site area (m ²)	830	Floor area (m ²)	112

Individual owner's consent for making a development application under the *Planning Act 2016*

I,

Adam Chirio

as owner of the premises identified as follows:

60 Brett Avenue, Healy QLD 4825, Lot 61 MPH 40093

consent to the making of a development application under the *Planning Act 2016* by:

Adam Chirio

on the premises described above for:

New Construction of Shed



26/08/2026

Appendix 2 – Drawings and Plans

ACA
00032217
06 Jul 2025
Harold Weber
A13379

The building work described on this drawing/specification conforms with the provisions of the Building Act 1975 and is subject to the conditions of the Development Permit.

NORTH

EXISTING DRIVEWAY

9.3

BOUNDARY - 40.6m

BOUNDARY - 22.2m

VERANDAH
5.2

RESIDENCE

18.2

WALL LINE
UNDER EAVE

PROPOSED DRIVEWAY
TOTAL AREA 90m²

Proposed Shed location
Size: 16x7M

600mm from Boundary

BOUNDARY - 40.6m

1500mm from rear
Boundary

NOTE:
ALL DIMENSIONS TO BE CONFIRMED
ON SITE WITH LANDOWNER

LOT: 61
PLAN: MPH40093
LOT SIZE: 857m²

NOTE:
BOUNDARY IS INDICATIVE ONLY IT SHOULD NOT
AND CANNOT BE USED AS A BASIS OF TRUE
BOUNDARY LOCATION.

SITE PLAN
SCALE: 1:150

TITLE: SITE PLAN

NAME AND ADDRESS:

ADAM CHIRIO
60 BRETT AVENUE
HEALY, QLD. 4825



SCALE: 1:150
DRAWN DATE: 28/11/22

SITE PLANS ONLINE
www.siteplansonline.com.au

SHEET:
1 OF 1

SHEET SIZE:
A3

DRAWING No:
2211103

REV :
1

BRETT AVENUE

Thursday, 23 April 2026

Sheeting Design Documentation

To whom it may concern,

The sheeting used for this structure has been designed as a category R2 sheeting with an imposed load of 0.25kPa and concentrated load of 1.4kN applied in accordance with NCC: 2022 Volume 2 Amendment 2 and AS1562.1.

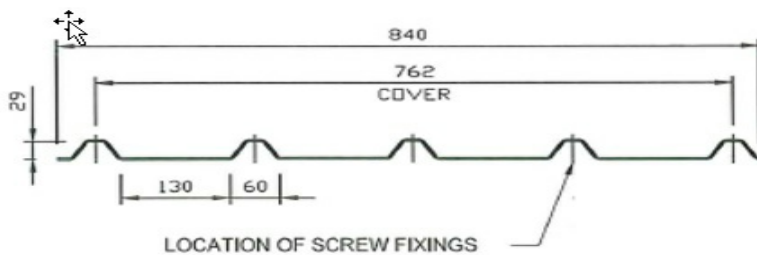
No allowance has been made for the fixing of rooftop-mounted equipment such as air-conditioning equipment directly to the cladding. Solar panels have been allowed for as per Engineering.

Metroll purlins have been designed to withstand foot traffic during installation and service. The use of appropriate cradles or cherry pickers is recommended. **As a minimum, never walk on purlins without safety mesh in place.**

When walking on Trimclad roof sheeting always wear flat rubber soled shoes and only walk over areas where purlins or batten supports are installed. Walk in either pan next to the lapped edge ribs.

Profile and Dimensions of Cladding

Metroll Trimclad Steel Sheetting is Manufactured from G550 colour coated steel or zinc-aluminium alloy coated (AZ 150) steel. In some locations galvanised (Z450) may also be available.



Specification of Materials

Location	BMT (mm)	Steel Base (MPa)	Mass CB (kg/m ²)	Mass Zinc (kg/m ²)	Effective Cover	Min. Pitch	Max Spans (mm)		
							End	Internal	Overhang
Roof	0.42	G550	4.35	4.28	762	2 (1 in 30)	1300	1700	150
Roof	0.48	G550	4.93	4.81	762	2 (1 in 30)	1700	2300	150
Wall	0.35	G550	3.68	3.70	762		2900	3000	150
Wall	0.42	G550	4.35	4.28	762		3000	3000	150

Design pressures to AS/NZS 1170.2

Location	Zone	Design Pressure (kPa)
Roof	Corner	-1.36
	Edge	-1.36
	General	-0.68
Wall	Corner	-1.45
	Edge	-0.97
	General	-0.48

Max Roof Run (m) for Slopes & Rainfall Intensity

Rainfall Intensity (mm/hr)	Trimclad Roof Slope				
	1 in 30 (2°)	1 in 20 (3°)	1 in 12 (5°)	1 in 7.5 (7.5°)	1 in 6 (10°)
100	220	257	320	382	439
150	146	172	214	255	293
200	110	129	160	191	220

Max Roof Run (m) for Slopes & Rainfall Intensity					
Rainfall Intensity (mm/hr)	Trimclad Roof Slope				
	1 in 30 (2°)	1 in 20 (3°)	1 in 12 (5°)	1 in 7.5 (7.5°)	1 in 6 (10°)
250	88	103	128	153	176
300	73	86	107	127	146
400	55	64	80	96	110



Fastener Specifications	
Timber	14 - 10 x 65 T17
0.75 to 1.0mm Steel	M6.5 - 12 x 55 roof zips
1.2 to 4mm Steel	14 - 10 x 53 Hex Head

Testing Criteria

This information is based on the **Low-High-Low testing competed by the Cyclone Testing Station (CTS)**, School of Engineering, James Cook University. The results of this testing are outlined in the test report TS716 produced by the CTS. Ultimate cyclic wind load strength tests were NATA accredited tests. Load testing carried out by James Cook University, cyclone testing station, report No.TS716. Product tested to AS4040.1, AS4040.3 and low-high-low as per BCA B1.2. Tests carried out: cyclonic airbox wind test for strength. Static testing for serviceability. Buildex report No. ELTR 1532.

Signed

John Ronaldson
for and on behalf of
Apex Engineering Group PTY LTD
ACN 632 588 562



237 Scottsdale Dr
Robina QLD 4226
Phone: 0756578843
Fax: 07 5657 8899

SITE SPECIFIC DESIGN CRITERIA ANALYSIS



Issued:
22/04/2026

Prepared for:
Adam Chirio
60 Brett Avenue
Healy QLD 4825

Supplier:
Wide Span Sheds

Assessment Ref:
STX26040343YS

Building Details:

Span: 7
Length: 16
Avg. Height: 3.609

Assesment basis:

NCC 2022
AS/NZS 1170.2:2021
AS/NZS 1170.3:2003
NZS 1170.5:2004
AS/NZS 3500.3:2021

Certified by:

J. Ronaldson
for and on behalf of
Apex Engineering Group PTY LTD
(ACN 632 588 562)

Member Institution of Engineers (Aust.), CPEng (NER Structural) Regn. No. 5276680
Registered Professional Engineer (Structural) - Queensland: Regn. No. 24223
Registered Professional Engineer (Structural) - Victoria: Regn. No. PE0003848
Registered Building Designer & Professional Engineer (Structural) - Tasmania: Regn. No. 185770492



Site Location:

Geographic coordinates of
 -20.74266,139.5047

The address provided for reference purpose only is:
 60 Brett Avenue Healy QLD 4825

Executive Summary - Site Specific Analysis

The design analysis of the building has not been considered for each of the 4 orthogonal directions. Hence the maximum wind speed in any of the 8 cardinal directions has been used as the design wind speed. This is a conservative approach.

Each cardinal direction has been considered and the results are summarised below

Factor	N	NE	E	SE	S	SW	W	NW
Wind Region	A0							
Importance level (IL)	2							
Distance from Smoothed Coastline	N/A							
Regional Wind Speed (Vr)	45.0							
Climate Change Factor (Mc)	1							
Terrain Category (TC)	2	2	2	2	2	2	2	2
Terrain Category Multiplier (Mz)	0.91	0.91	0.91	0.91	0.91	0.91	0.91	0.91
Shielding Multiplier (Ms)	0.84	0.82	0.87	0.84	0.85	0.87	0.86	0.85
Topographic Multiplier (Mt)	1	1	1	1	1	1	1	1
Wind Direction Multiplier 1 (Md1)	0.9	0.85	0.85	0.9	0.9	0.95	1	0.95
Site specific design wind speed (Vsite1)	31	30	30.3	31	31.3	33.8	35.2	33.1

Wind Direction Multiplier 2 (Md2)	0.9	0.85	0.85	0.9	0.9	0.95	1	0.95
Site specific design wind speed (Vsite2)	31	30	30.3	31	31.3	33.8	35.2	33.1

Design Wind Speed (Vsite1)	35.2 m/s	for the resultant forces and overturning moments on the complete building and wind actions on major structural elements.
Design Wind Speed (Vsite2)	35.2 m/s	for cladding and immediate supporting structures (Purlins and Girts)
Snow Load	Nil	
Earthquake	0.08	Hazard Design Factor (Z)
Durability Alert	Yes	It is likely that the building is subject to a Marine Influence and Industrial Influence. You should satisfy yourself that any BlueScope or other warranties specific for your site are satisfactory for your purpose. Amongst other sources, you should contact BlueScope on 1800 800 789.
Rainfall Intensity	201mm/hr	5% AEP
Rainfall Intensity	262mm/hr	1% AEP

GENERAL NOTES

These documents show the general arrangement of the building and include some items not supplied (refer to the quotation for nomination of all items to be provided). All items not nominated therein shall be supplied and installed by others.

The plans provided here are the latest at the time of print. Earlier plans provided may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building. The building is not designed to stand up by itself when it is partially complete. Consequently, construction bracing is critical during erection.

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm that the length and size (including thickness), nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per Terms and Conditions of Sale.

DESIGN CRITERIA

These building plans have been prepared to comply with the standards nominated in the engineer's letter. All plans are not to Scale.

ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

- *Provision of Soils Report for the site and in the building area on which the building is to be erected
- *Site Plan and Drainage Plans
- *Any other plans not covered by these engineering plans requested by the local Council or the authority

RAINWATER AND DRAINAGE

All Rainwater and drainage designs are the responsibility of the purchaser/owner. Residential gutters and downpipes where supplied are based on average rainfall for the state and may not be sufficient for your building size or usage. Please speak to your building designer or contractor to ensure gutters are fit for purpose.

BUILDING CONSTRUCTION REQUIREMENTS

The Builder and Purchaser are to ensure that all construction is carried out in accordance with the Plans, the Construction Manual and the Bill of Materials (BOM).

It is the responsibility of the builder to ensure that they are familiar with the operational risks and their obligations in carrying out construction work.

The builder must ensure that they have an appropriate Health & Safety Plan (The Plan) compliant with and as required by their local, state and federal regulations. The Plan will need to take into account the site conditions, the size of the building and the experience of the construction personnel. The Plan will, most likely, differ for each project.

The builder must ensure that The Plan is adhered to. Particular attention should be paid to the requirements to ensure that any person working at heights are properly trained and following the requirements as set out by The Plan.

It is recommended that you check with the appropriate authority in your area as to your responsibilities.

TEMPORARY SUPPORT, LIFTING AND SHORING

The design of temporary propping shoring, lifting and support during construction has not been undertaken and is not included in our engagement. This work is the responsibility of the Contractor undertaking the construction of the building.

SLAB DETAILS - GENERAL

Piers

* The minimum size of Piers under the columns and End Wall Mullions are nominated on the Material Specifications Plan. When the slab and piers are poured as one pour, the depth of the pier is to the top of the slab.

Concrete Slab

- * Footings and slabs, including internal and edge beams, must be founded on natural soil with a minimum allowable bearing pressure of 100kPa. Design covers soil classifications of A, S, M, H1 or H2 for a class 10a building.
- * The footing designs have been calculated with cohesion values of 0kPa, 50kPa and 100kPa for dense sandy soils and clay soils only.
- * A site specific geotechnical investigation has not been performed. The builder will need to verify the soil type and conditions.
- * Site conditions different to those specified require a modified design.
- * Sub grade shall be excavated and compacted to a minimum of 100% standard dry density ratio and within 2% of the OMC to comply with AS2159.
- * Designs are in accordance with AS 3600:2018
- * All concrete to be in accordance with AS 3600:2018. Minimum 25 Mpa, with 80mm slump.
- * Concrete should be cured for 7 days before commencing construction of the building.
- * Refer to connection details.
- * Saw construction joints to be 25mm deep x 5mm wide. Saw cuttings shall take place no later than 24 hours after pouring. Saw construction joints to be placed at a maximum spacing of 6.3m (in both the length and the span). Care should be taken to avoid construction cuts intersecting where any fixing to the slab is to be made.
- * Where columns or end wall mullions have been removed, piers are not required.
- * End wall mullion spacing may move due to location of openings or doors. Check layout and component position plan, and relocate piers as required.
- * The Slab Plan indicates those parts of the slab which are 50mm below main slab/piers.

For Class A, S or M Sites

- * Slab thickness to be a minimum of 100mm with SL 72 mesh and 40mm top cover.
- * Concrete piers under Roller Doors Jambs to be a minimum size as below: MC15015 - 300mm dia x 375mm deep, centered to the C Section
- Where heavy traffic is to go through the roller doors, it is recommended that the slab edge should be thickened to 200mm deep by 300mm wide for the length between the mullions. Place an additional section of SL 72 mesh, 50mm from the base in all thickenings.

For Class H1 or H2 Sites

- * Slab thickness to be a minimum of 100mm with SL 82 mesh and 40mm top cover.
- * Perimeter beams 550mm deep x 300mm wide with Y12 3 bar Trench Mesh to the perimeter of the building.
- * Internal beams 550mm deep by 300mm wide with Y12 3 bar Trench Mesh at a max spacing of 4m.
- * Concrete piers under Roller Doors Jambs to be a minimum size as below: MC15015 - 300mm dia x 500mm deep, centered to the C Section

SHEETED PORTALS AND MULLIONS

All end wall mullions provide critical support to portal frames and cannot be repositioned or removed under any circumstances without engineering approval.

BRACING NOTES

- * Refer to Connection Details.
- * All Cross Bracing is achieved with 30 mm x 1.2 mm strap G450.
- * Cross bracing is to be fixed taut and secured with 14.20 x 22 frame screws at each end, quantity as per connection details.
- * Fly bracing to be fixed to the purlins/girts on all mid portal rafters, columns and end wall mullions. Fly bracing is to be fitted to every second purlin/girt, or, on every one, where the spacing between fly braces would exceed the maximum specified below for the relevant column/rafter size:
 - C150 - maximum 1800mm spacing
 - C200, C250 - maximum 2200mm spacing
 - C300 - maximum 2800mm spacing
 - C350 - maximum 2800mm spacing
 - C400 - maximum 2800mm spacing

Initial measurement is from the haunch of the column/rafter, and from the rafter for any end wall mullions.

- * The first fly brace is to be placed at the purlin/girt closest to the haunch or top of the mullion.* Where windows/GSD are placed in any bay where cross bracing is shown, then
 - a) this can be replaced by moving the bracing to another bay OR
 - b) due to the bracing provided by the window jambs, where space permits, bracing should be placed under and over the window.
- * All bracing strap ends to be located as close as practical to structural member's (columns, rafters, mullions) centerline.

BOLTS

Revision	Date	Initial	Purchaser Name: Saiyan Energy		General Notes NOT FOR CONSTRUCTION Page 1 of 2 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 23/04/2026
			Site Location: 60 Brett Avenue Healy QLD 4825 Australia				
			Drawing # WSS261120 - 2	Print Date: 23/04/2026			

- * Unless otherwise nominated, all bolts are grade 4.6
- * All tensioned bolts shall be tensioned using the part turn method (refer to AS4100). For the erector, full details are in the construction manual.



ROLLER DOORS

All Roller doors are NOT wind rated. All comments regarding roller doors are referenced from inside the building looking out.

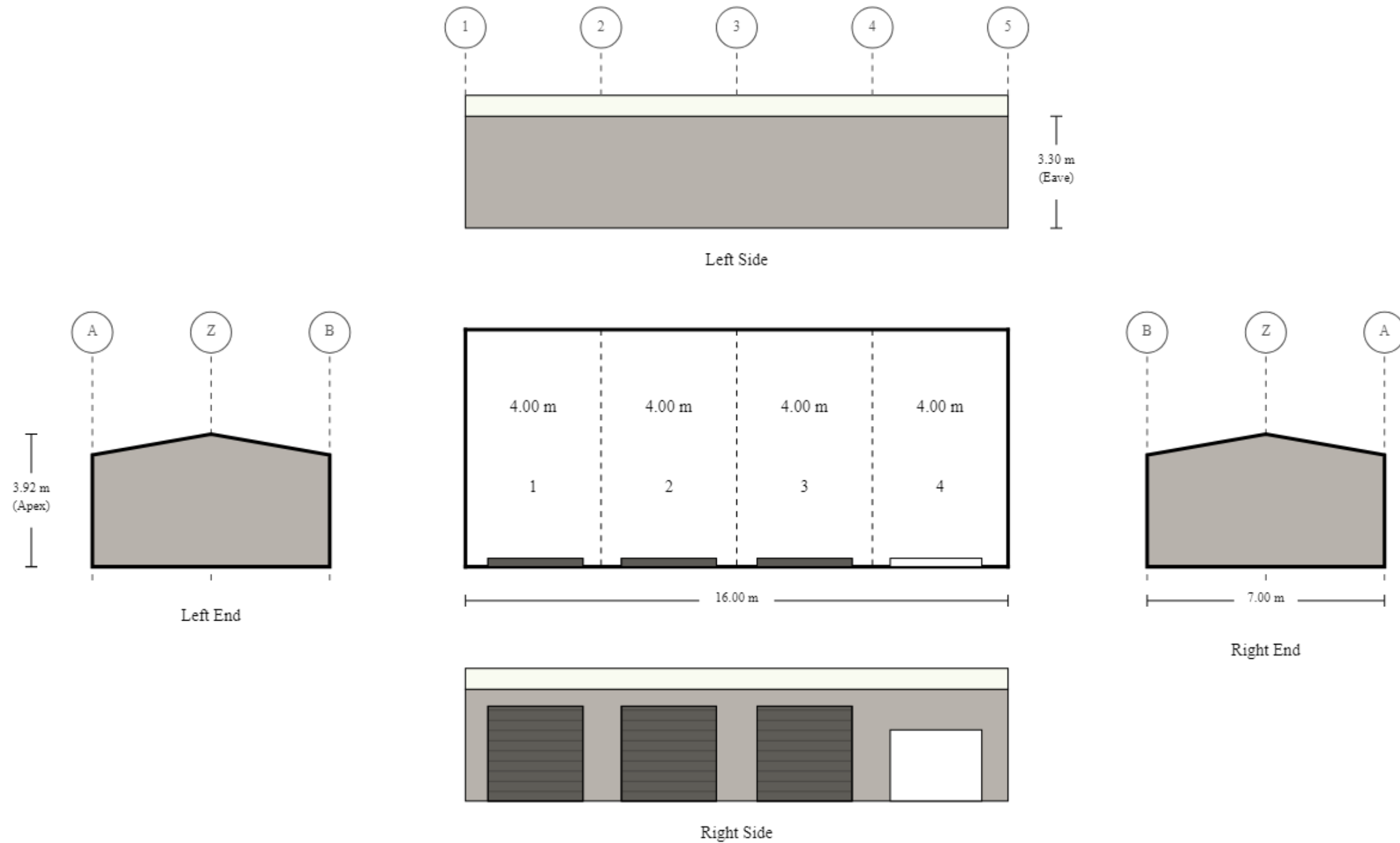
OTHER MATERIALS NOTES

- * All Sheeting, Flashing and framing screws are Climaseal 3.
- * All purlin material has Z350 zinc coating with minimum strength of 450MPa.

SOLAR PANELS

- * The building has been engineered for the panels to be placed on both sides of the main building.
- * Refer to Solar Panel Connection Detail drawing.

Revision	Date	Initial	Purchaser Name: Saiyan Energy		General Notes NOT FOR CONSTRUCTION Page 2 of 2 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 23/04/2026	
			Site Location: 60 Brett Avenue Healy QLD 4825 Australia					
			Drawing # WSS261120 - 2					Print Date: 23/04/2026



Purchaser Name: Saiyan Energy

Site Location: 60 Brett Avenue Healy QLD 4825 Australia

Drawing # WSS261120 - 3

Print Date: 23/04/2026

Layout
NOT FOR CONSTRUCTION
Not to Scale
© Copyright Steelx IP Pty Ltd

Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 8888
Fax: 07 5657 8899
Email: admin@sheds.com.au

Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

J. Ronaldson

Date: John Ronaldson

Date: 23/04/2026

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes



Building Dimensions

Categories	Span	Length	Pitch	Height	Grid(s)	Portal(s)
Main Building	7	16	10 °	3.3	A - B	1 - 5

Portal Frame Elements

Grid / Portal Number		1	2	3	4	5
Columns	A	MC15012	MC15024	MC15024	MC15024	MC15012
	B	MC15012	MC15024	MC15024	MC15024	MC15012
Rafters	A - Apex	MC15012	MC15019	MC15019	MC15019	MC15012
	Apex - B	MC15012	MC15019	MC15019	MC15019	MC15012
End Wall Mullions	Z	MC15012	-	-	-	MC15012

Bay Section Elements

Bay Number		1	2	3	4
Bay Widths		4	4	4	4
Roof Purlins (refer to Purlin And Girt Plan)		Z100	Z100	Z100	Z100
Roof Purlin Spacing (End)	A - Apex	1.125	1.125	1.125	1.125
	Apex - B	1.125	1.125	1.125	1.125
Roof Purlin Spacing (Internal Spans)	A - Apex	1.125	1.125	1.125	1.125
	Apex - B	1.125	1.125	1.125	1.125
Eave Purlin	A	C15012	C15012	C15012	C15012
	B	C15012	C15012	C15012	C15012
Side Girts (refer to Purlin And Girt Plan)		Z100	Z100	Z100	Z100
Side Girt Bridging (Rows)	B	-	-	-	YES (1)
Side Girts Spacing (End)	A	1.535	1.535	1.535	1.535
	B	1.535	1.535	1.535	1.535
Side Girts Spacing (Internal)	A	1.535	1.535	1.535	1.535
	B	1.535	1.535	1.535	1.535
Roller Door Header	B	C10010	C10010	C10010	-
Roller Door Jambs	B	MC15015	MC15015	MC15015	-

End Bay Section Elements

Grid / Portal Number		1	5
End Girts (refer to Purlin And Girt Plan)		Z100	Z100
End Girts Spacing (End)	A - Z	1.535	1.535
	Z - B	1.535	1.535
End Girts Spacing (Internal)	A - Z	1.535	1.535
	Z - B	1.535	1.535

Roller Door

Location - Side & Bay Number	RightSide 1	RightSide 2	RightSide 3
Roller Door Size	2.8x2.8	2.8x2.8	2.8x2.8
Roller Door Header	C10010	C10010	C10010
Roller Door Jambs	MC15015	MC15015	MC15015
Roller Door Clip Config	0 clip	0 clip	0 clip
Roller Door Manufacturer	CENTURION	CENTURION	CENTURION

Revision	Date	Initial	Purchaser Name: Saiyan Energy		Material Specification Sheet NOT FOR CONSTRUCTION Page 1 of 2 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 23/04/2026	
			Site Location: 60 Brett Avenue Healy QLD 4825 Australia					
			Drawing # WSS261120 - 4					Print Date: 23/04/2026

MATERIAL SPECIFICATIONS

For further information regarding the tabulated values shown, refer to the General Notes



Cladding Elements

Category	Colour	Product
Roof Sheeting	DoverWhite	TRIMCLAD® 0.42 BMT
Roof Flashings	COLORBOND® steel	BlueScope 0.55 BMT
Wall Sheeting	Dune	TRIMCLAD® 0.42 BMT
Wall Flashing	COLORBOND® steel	BlueScope 0.55 BMT

Pier Sizes

Cohesion	Soil Description	Diameter	Depth - with Slab				Min Depth for Reo (2)
			BP1	BP2	BP3	Reinforcement (1)	
0kPa	Sandy Soil	0.3	0.45	0.45	0.6	N/A	1.2
		0.45	0.45	0.45	0.6	N/A	1.2
		0.6	0.45	0.45	0.5	N/A	1.2
50.00 kPa	Soft to Firm Clay	0.3	0.7	0.45	0.7	4-N12	1
		0.45	0.7	0.45	0.7	4-N12	1.2
		0.6	0.7	0.45	0.7	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	0.7	0.45	0.7	4-N12	0.9
		0.45	0.7	0.45	0.7	4-N12	1.2
		0.6	0.7	0.45	0.7	4-N16	1.2
		Embedment Depth	0	0	0	N/A	N/A

Note 1
For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.
Minimum side cover 75mm, maximum 100mm.
Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2
No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

Pier Sizes

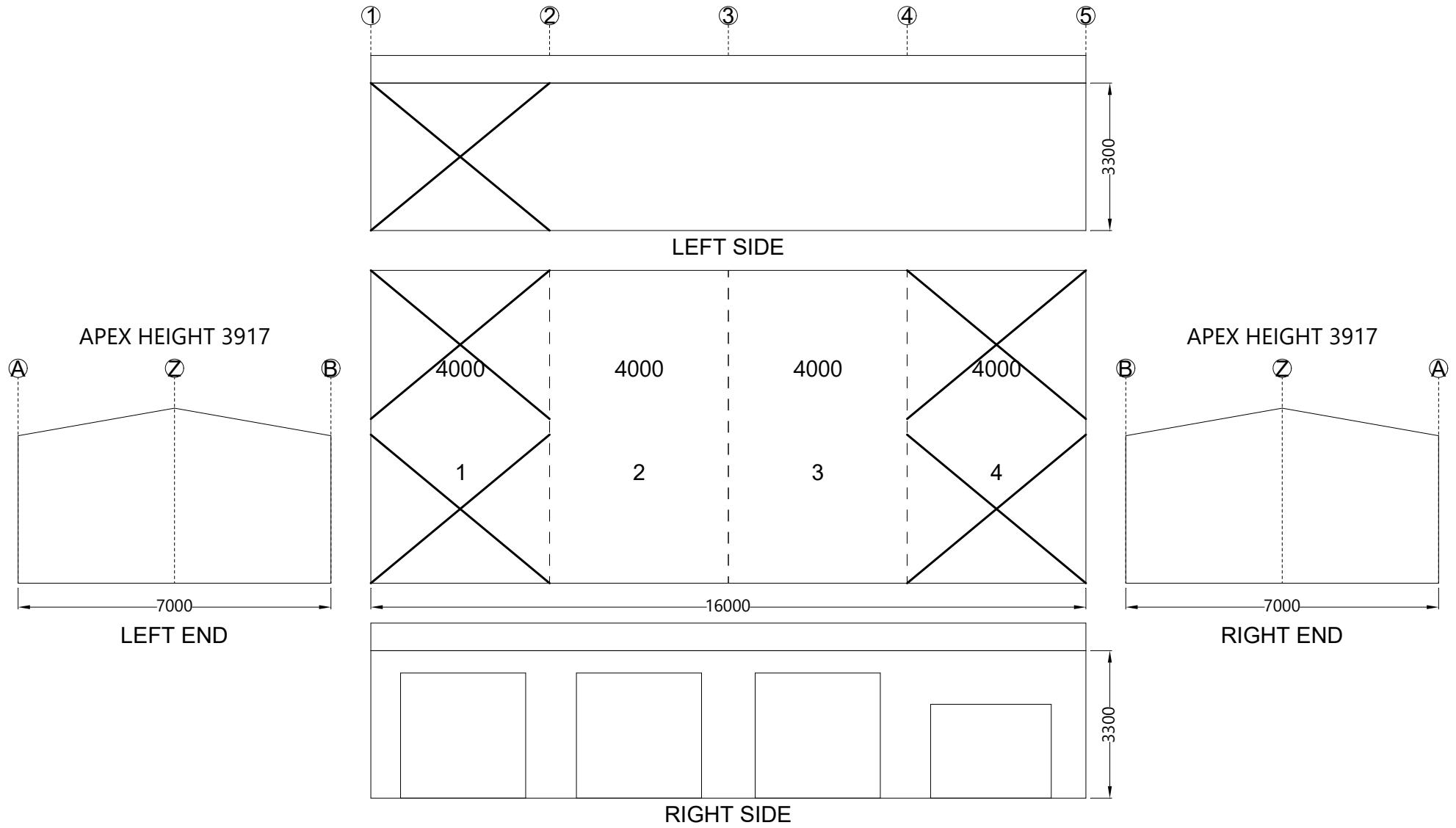
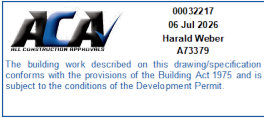
Cohesion	Soil Description	Diameter	Depth - when NO Slab				Min Depth for Reo (2)
			BP1	BP2	BP3	Reinforcement (1)	
0kPa	Sandy Soil	0.3	0.6	0.8	1.1	N/A	1.2
		0.45	0.6	0.7	0.8	N/A	1.2
		0.6	0.6	0.6	0.7	N/A	1.2
50.00 kPa	Soft to Firm Clay	0.3	1.2	1.3	1.4	4-N12	0.7
		0.45	1.2	1.3	1.4	4-N12	1
		0.6	1.2	1.3	1.4	4-N16	1.2
100.00 kPa	Stiff to Very Stiff Clay	0.3	1.1	1.2	1.3	4-N12	0.6
		0.45	1.1	1.2	1.3	4-N12	0.9
		0.6	1.1	1.2	1.3	4-N16	1
		Embedment Depth	0	0	0	N/A	N/A

Note 1
For pier reinforcement: Deformed bar to be within 100mm of base and minimum 75mm top cover.
Minimum side cover 75mm, maximum 100mm.
Rod to be caged horizontally at least twice with minimum 6mm cage tie at a maximum spacing of 300mm.

Note 2
No reinforcement is required for piers less than this depth. For all other pier depths refer to the table and Note 1.

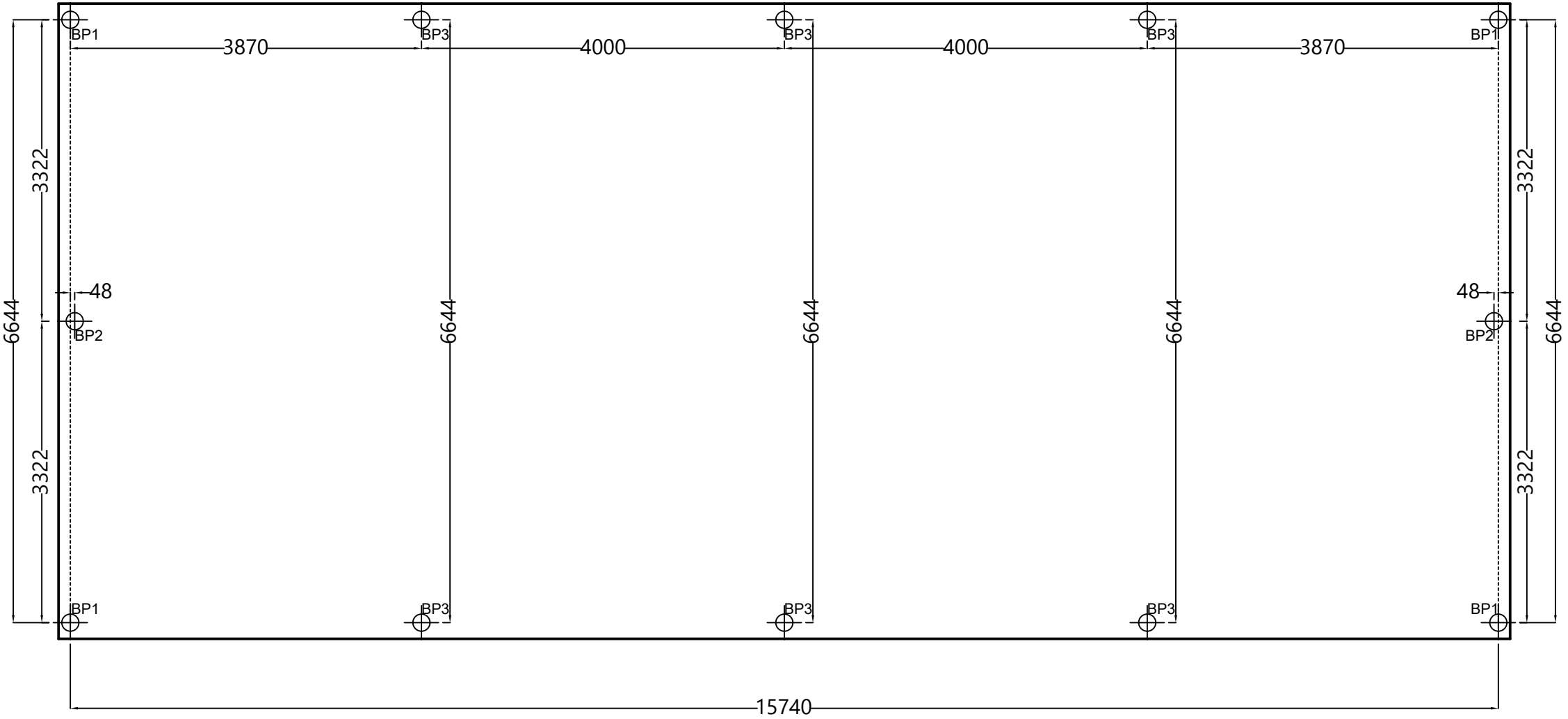
Revision	Date	Initial	Purchaser Name: Saiyan Energy		Material Specification Sheet NOT FOR CONSTRUCTION Page 2 of 2 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 23/04/2026	
			Site Location: 60 Brett Avenue Healy QLD 4825 Australia					
			Drawing # WSS261120 - 4					Print Date: 23/04/2026

Cross Bracing is achieved with 30 mm x 1.2 mm strap. Refer to Connection Details.



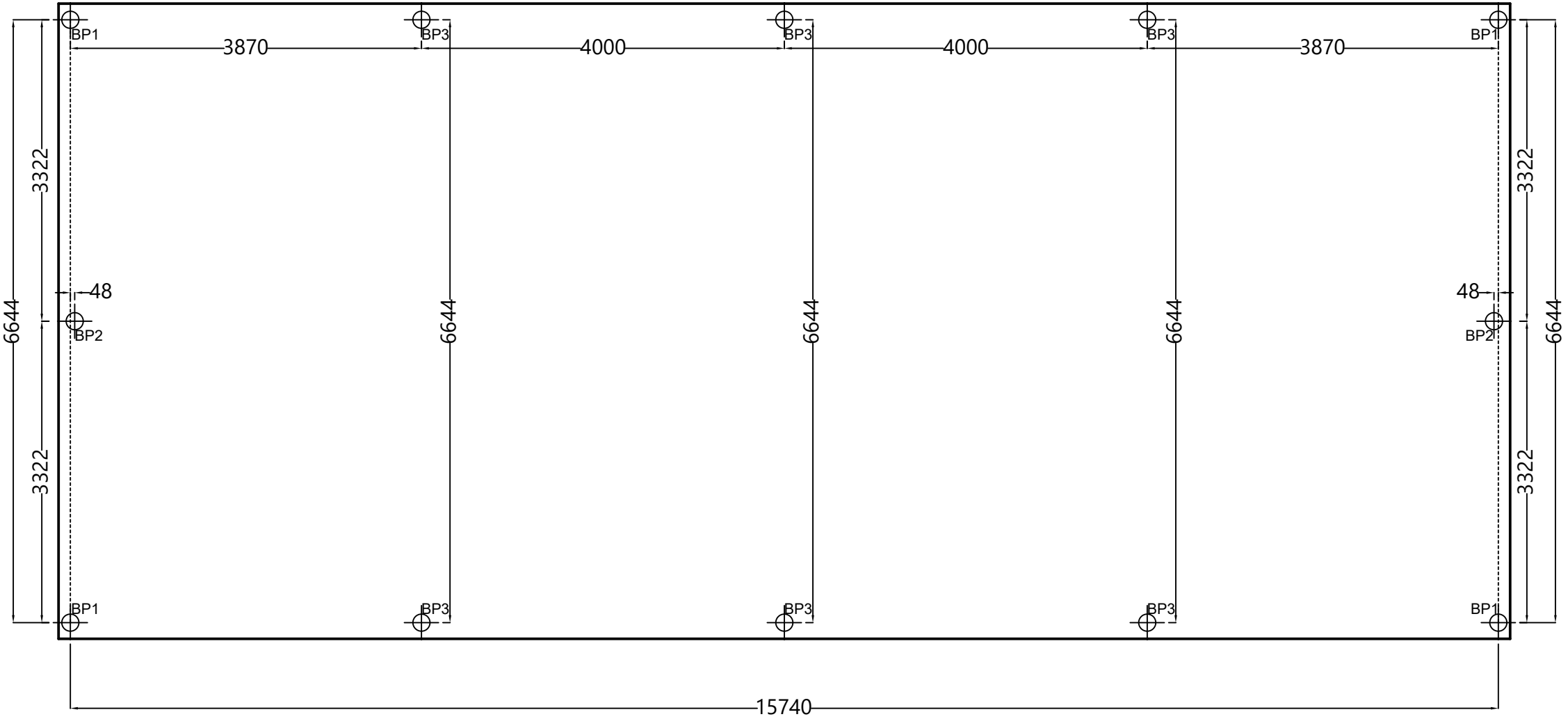
Revision	Date	Initial	Purchaser Name: Saiyan Energy		Bracing NOT FOR CONSTRUCTION NOT TO SCALE Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 23/04/2026
			Site Location: 60 Brett Avenue Healy QLD 4825 Australia				
			Drawing # WSS261120 - 5	Print Date: 23/04/2026			

Concrete Piers (Slab)
These dimensions are provided as a guide only. It is the responsibility of the erector to confirm that all dimensions are correct.
Where single column and single rafter, measurement is to the centerline of the rafter.
Where Back to back columns and single rafter, measurement is to the centerline of the rafter.
Where Back to back columns and rafters, measurement is to the middle of the back to back sections.
Refer to Material Specification Sheet(s) for the column and rafter sizes, and if single or back to back.



Revision	Date	Initial	Purchaser Name: Saiyan Energy		Concrete Piers (Slab) PIER MEASUREMENT ONLY. NOT FOR CONSTRUCTION NOT TO SCALE Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 23/04/2026
			Site Location: 60 Brett Avenue Healy QLD 4825 Australia				
			Drawing # WSS261120 - 6				
			Print Date: 23/04/2026				

Concrete Piers (NO Slab)
These dimensions are provided as a guide only. It is the responsibility of the erector to confirm that all dimensions are correct.
Where single column and single rafter, measurement is to the centerline of the rafter.
Where Back to back columns and single rafter, measurement is to the centerline of the rafter.
Where Back to back columns and rafters, measurement is to the middle of the back to back sections.
Refer to Material Specification Sheet(s) for the column and rafter sizes, and if single or back to back.



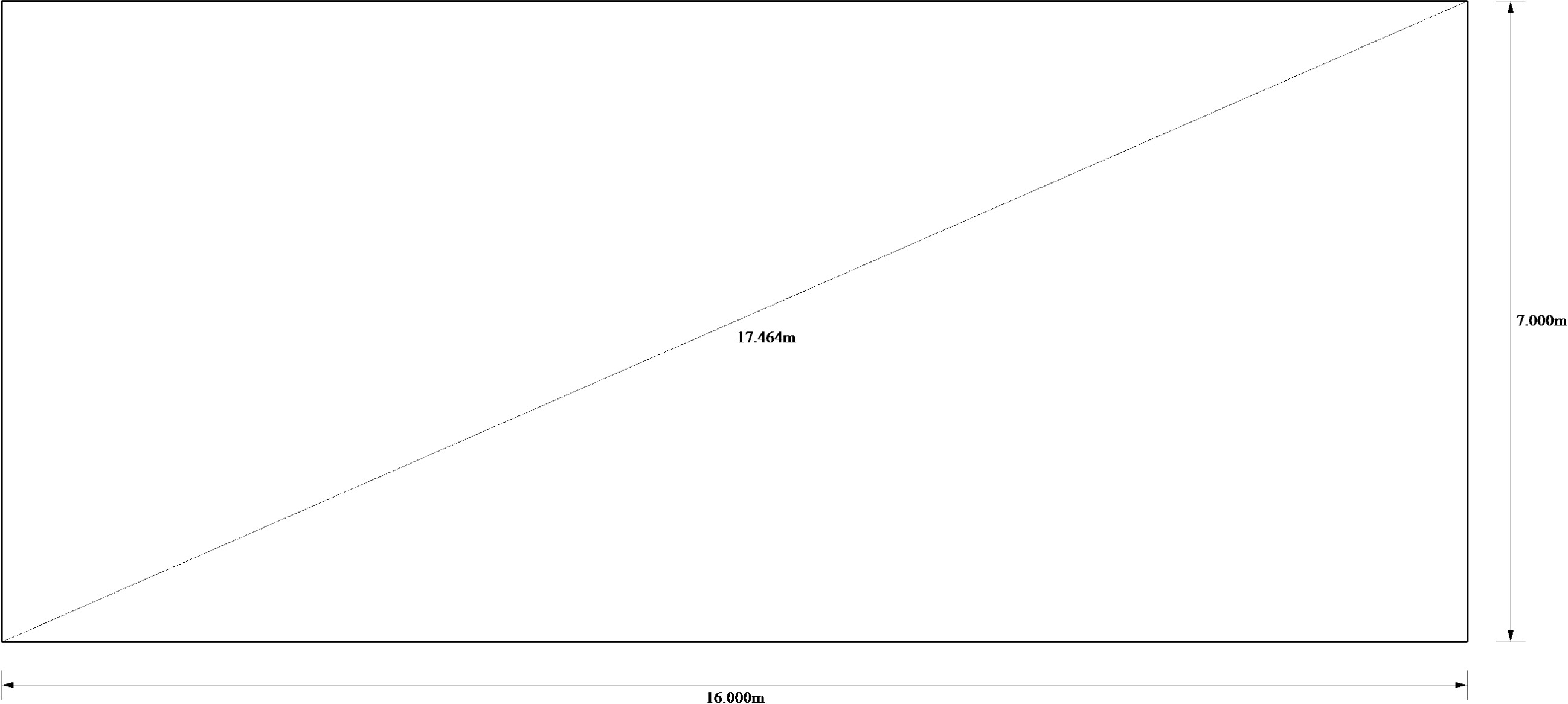
Revision	Date	Initial	Purchaser Name: Saiyan Energy		Concrete Piers (NO Slab) PIER MEASUREMENT ONLY. NOT FOR CONSTRUCTION NOT TO SCALE Page 1 of 1 ©Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Name: Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 MIE Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers Signature:  John Ronaldson Date: 23/04/2026
			Site Location: 60 Brett Avenue Healy QLD 4825 Australia				
			Drawing # WSS261120 - 6	Print Date: 23/04/2026			

These dimensions are provided as a guide only. It is the responsibility of the concreter to confirm that all dimensions are correct.

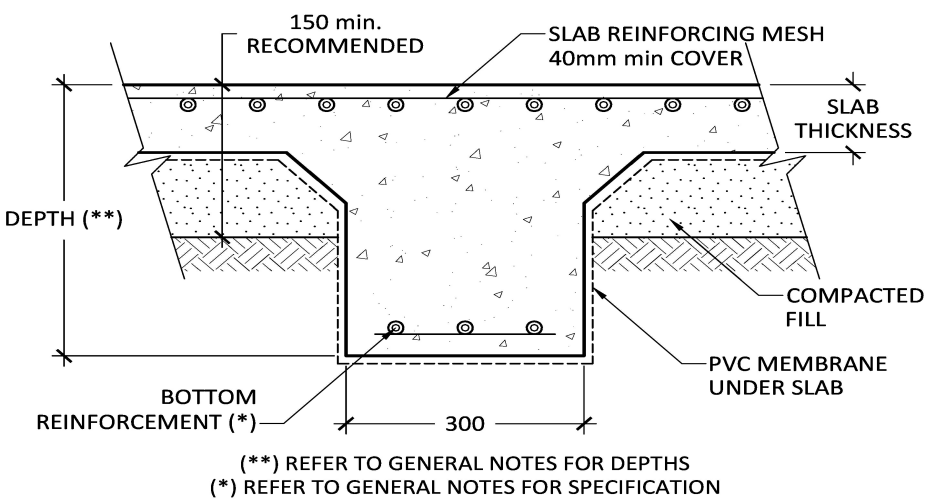
ACA

00032217
06 Jul 2026
Harald Weber
A/3379

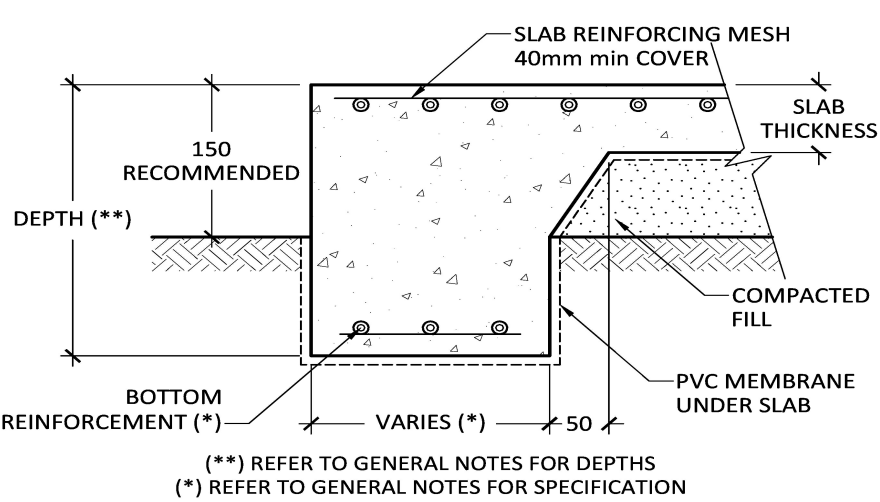
The building work described on this drawing/specification conforms with the provisions of the Building Act 1975 and is subject to the conditions of the Development Permit.



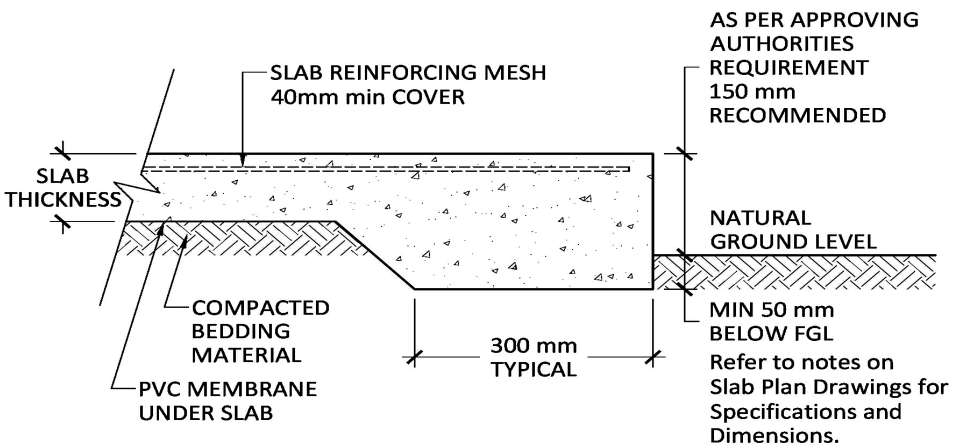
Purchaser Name: Saiyan Energy		Slab Dimensions Also refer to Concrete Piers Plan. NOT FOR CONSTRUCTION Not to Scale © Copyright Steelx IP Pty Ltd	Seller: Wide Span Sheds Pty Ltd Wide Span Sheds Pty Ltd Phone: 07 5657 8888 Fax: 07 5657 8899 Email: admin@sheds.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 ME Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers
Site Location: 60 Brett Avenue Healy QLD 4825 Australia				Signature:  Date: John Ronaldson Date: 23/04/2026
Drawing # WSS261120 - 7	Print Date: 23/04/2026			



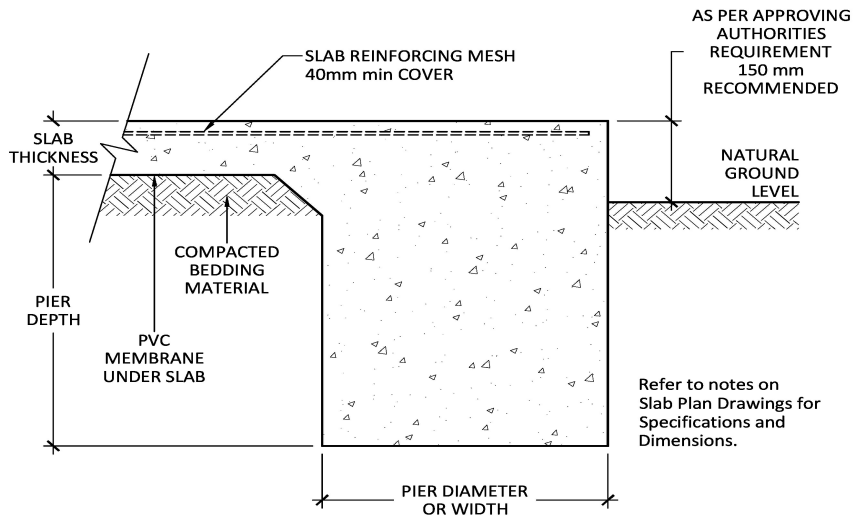
INTERNAL BEAM
 (H1 & H2 SOIL TYPE, OPTIONAL A, S & M)



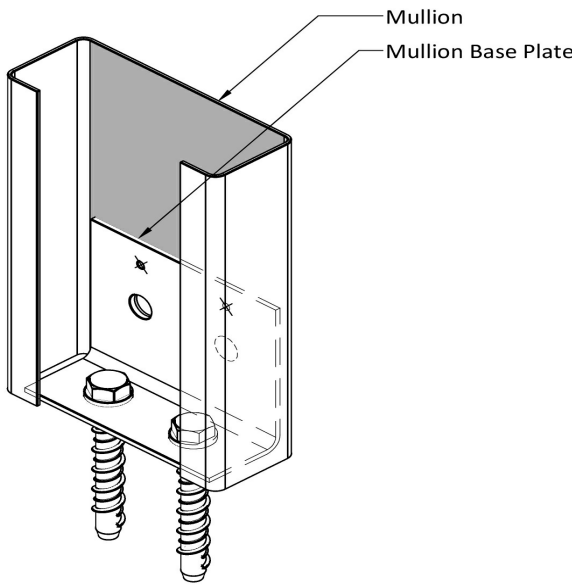
PERIMETER BEAM
 (H1 & H2 SOIL TYPE, OPTIONAL A, S & M)



SLAB PERIMETER THICKENING BETWEEN PIER
 A, S & M SOIL TYPES

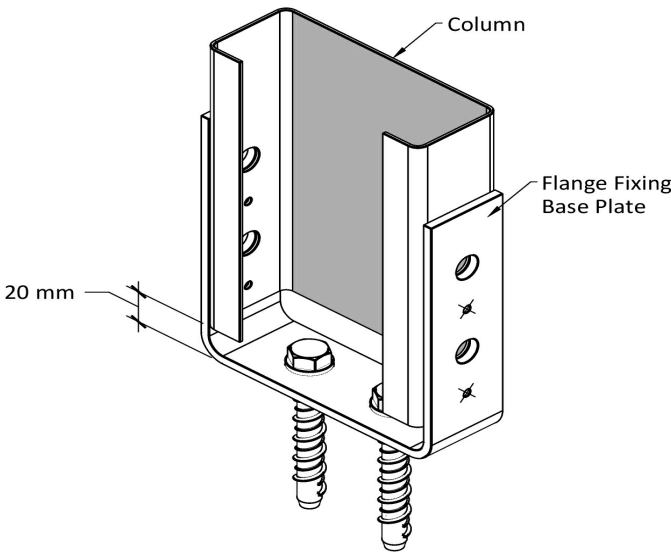


SLAB AND PIER DETAIL



- FOOTING BOLTS - 2 of M12 x 100 SCREWBOLTS
 ○ FIXING BOLTS - 2 of M12 x 30 Galv.
 × FIXING SCREWS - 2 of 14.20 x 22

C150 MULLION BASE PLATE (B)



- FOOTING BOLTS - 2 of M12 x 100 SCREWBOLT
 ○ FIXING BOLTS - 4 of M12 x 30 Galv.
 × FIXING SCREWS - 4 of 12.24 x 38 Series 500

C150 COLUMN FIXING (BF)

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Site Location: 60 Brett Avenue Healy QLD 4825 Australia

Drawing # WSS261120 - 8

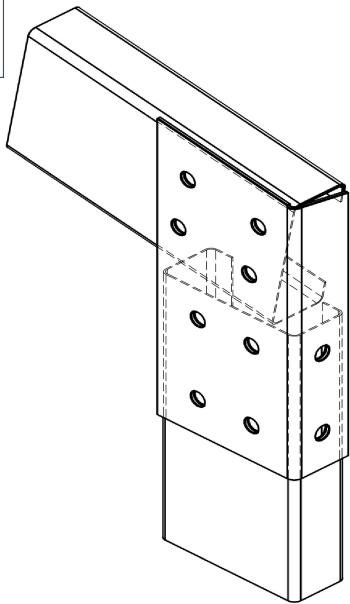
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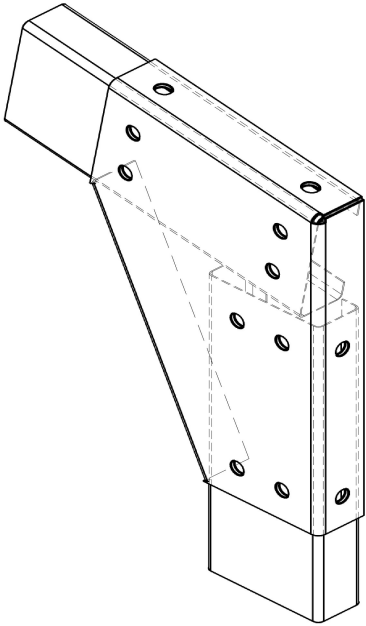
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 ME Aust. (Registered NER Structural) 5276680
 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;
 Practising Professional Structural & Civil Engineers

Signature: *J. Ronaldson*
 Date: John Ronaldson
 Date: 23/04/2026



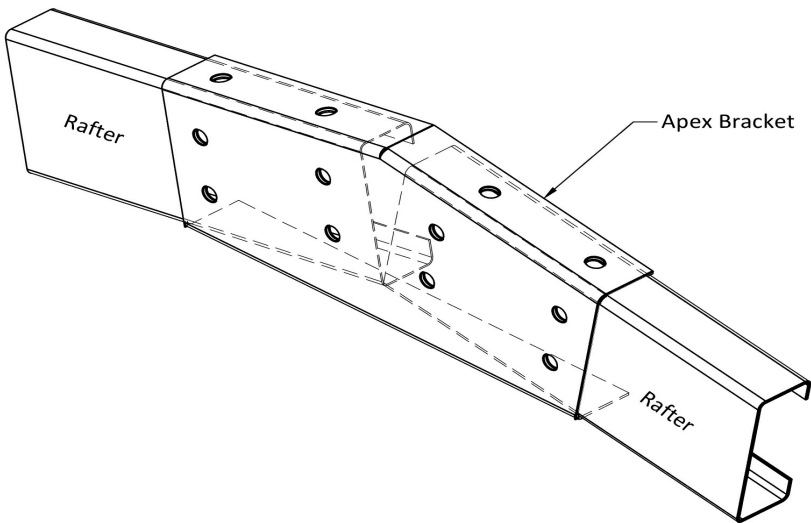
○ FIXING BOLTS - 10 of M12 x 30 (8.8)

FLAT PLATE HAUNCH BRACKET (X&Y) - C150, 10°



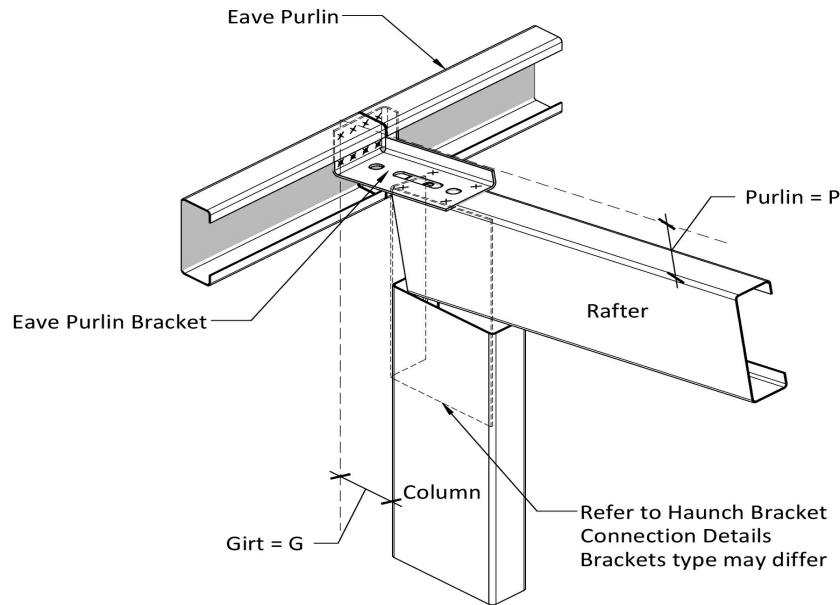
○ FIXING BOLTS - 12 of M12 x 30 (8.8)

KNEE HAUNCH BRACKET (HS&HT) - C150, 10°



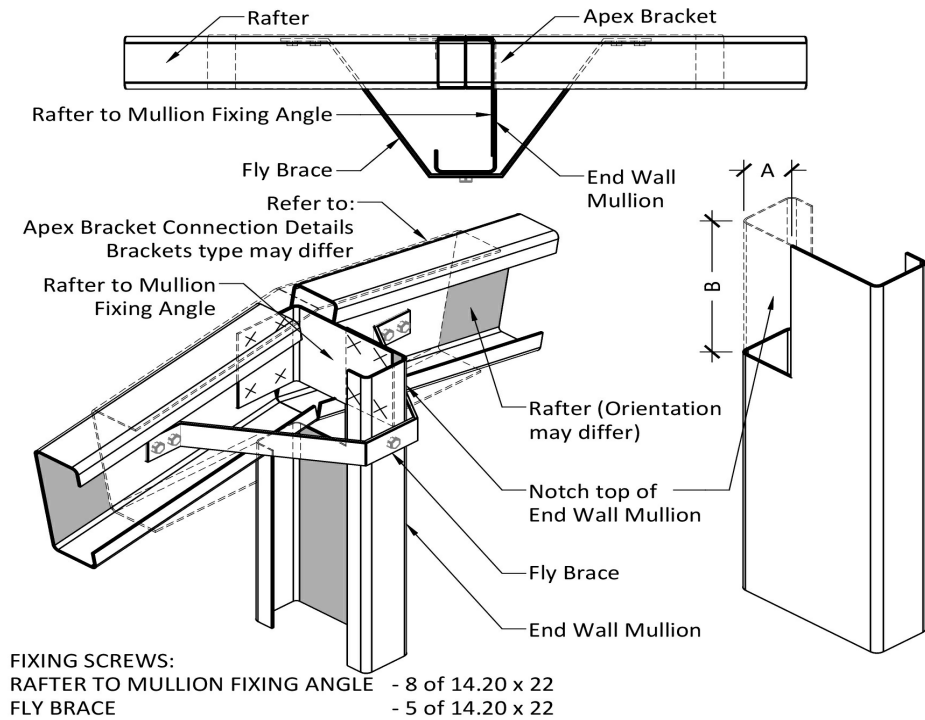
○ FIXING BOLTS - 12 of M12 x 30 (8.8)

APEX BRACKET (A) - C150, 10°



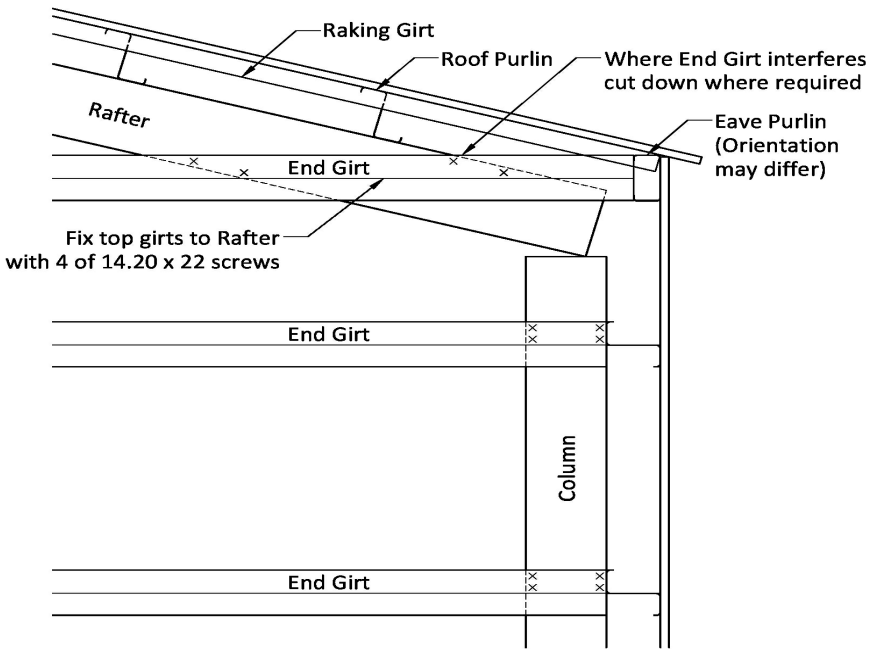
* P/G - Z100 - TH120 - Z150
 ○ FIXING BOLTS - 1 of M12 x 30
 × FIXING SCREWS - 12 of 14.20 x 22

EAVE PURLIN BRACKET TO RAFTER



FIXING SCREWS:
 RAFTER TO MULLION FIXING ANGLE - 8 of 14.20 x 22
 FLY BRACE - 5 of 14.20 x 22

END WALL MULLION TO APEX



GABLE END TOP END GIRT FIXING - Z

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Site Location: 60 Brett Avenue Healy QLD 4825 Australia

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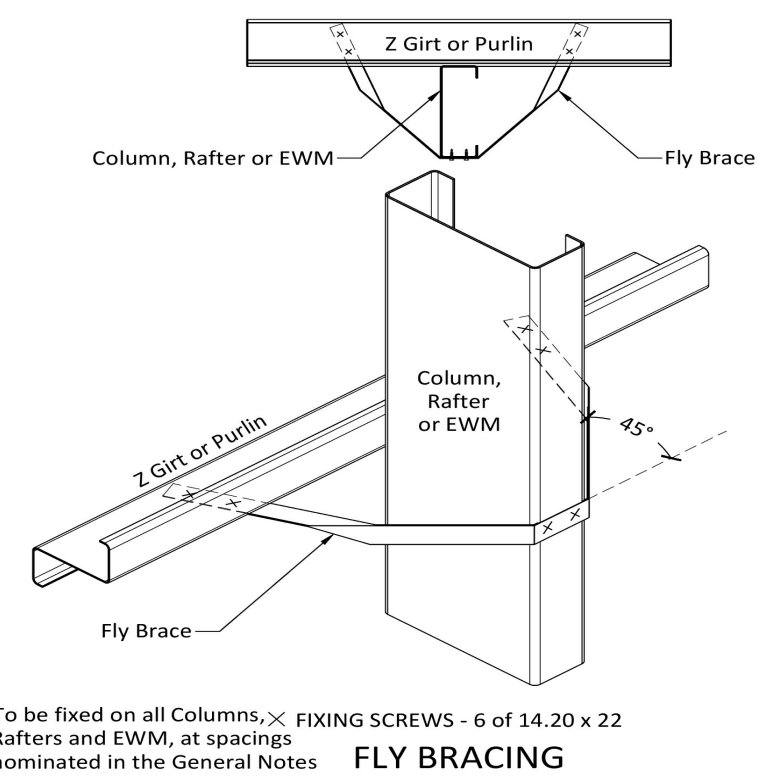
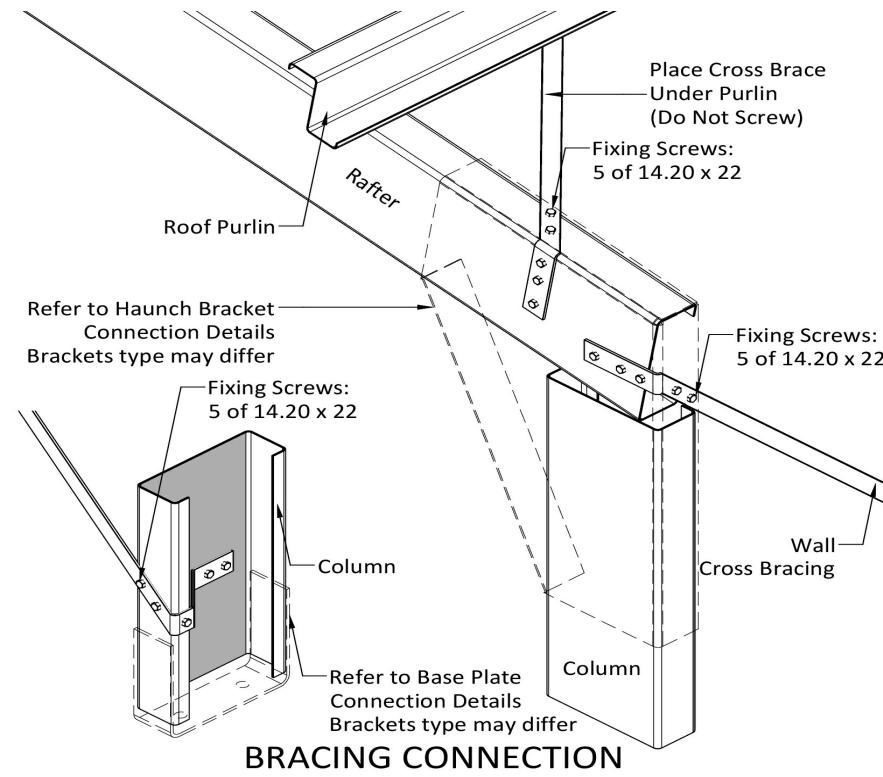
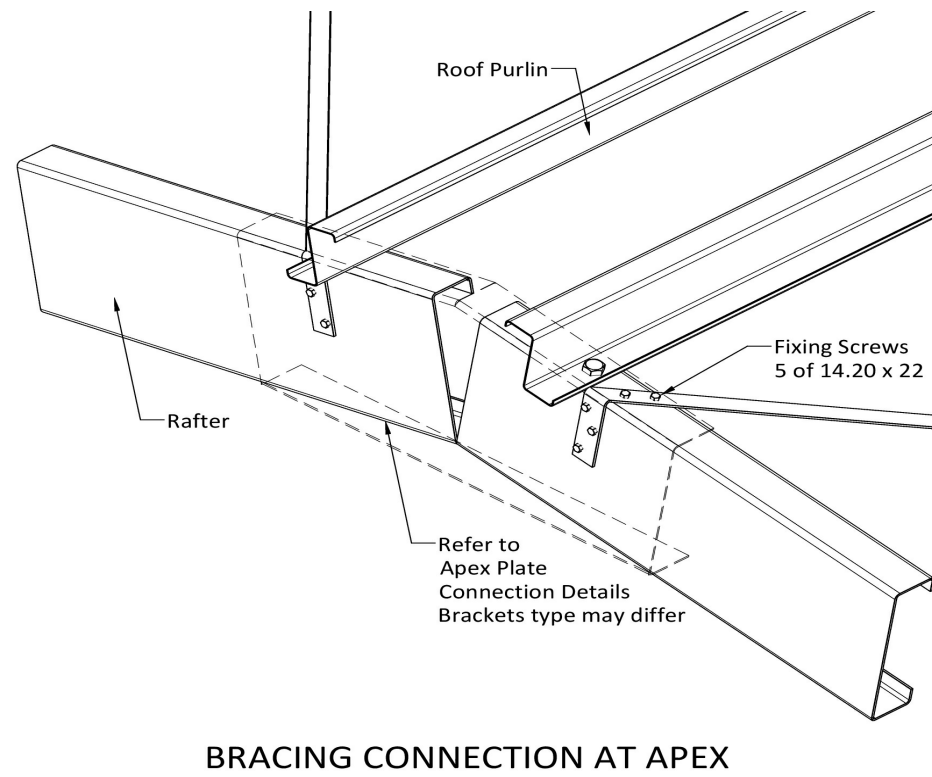
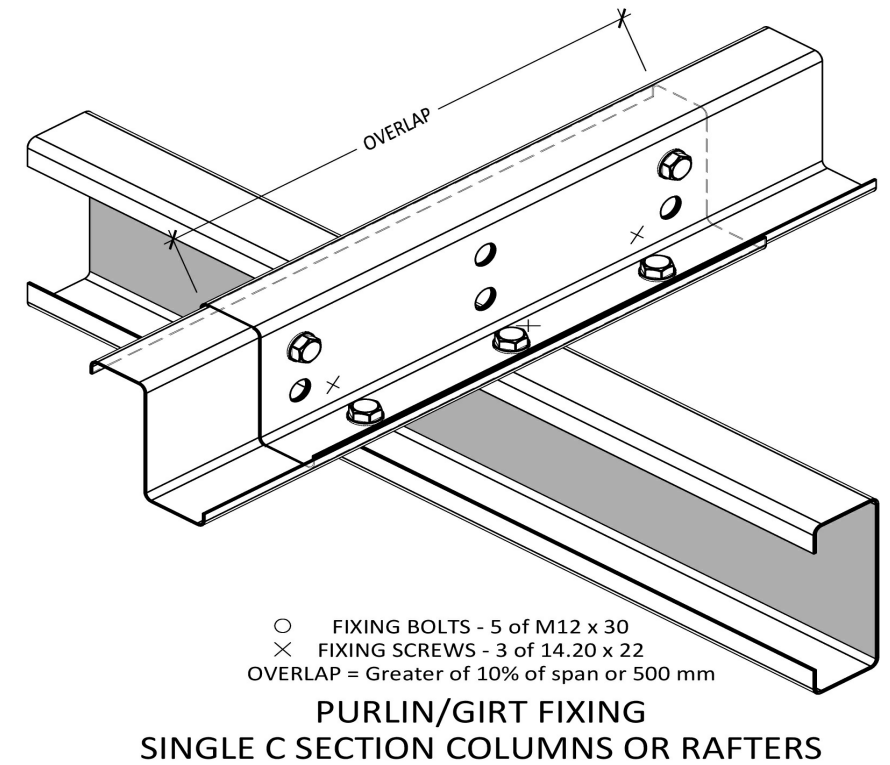
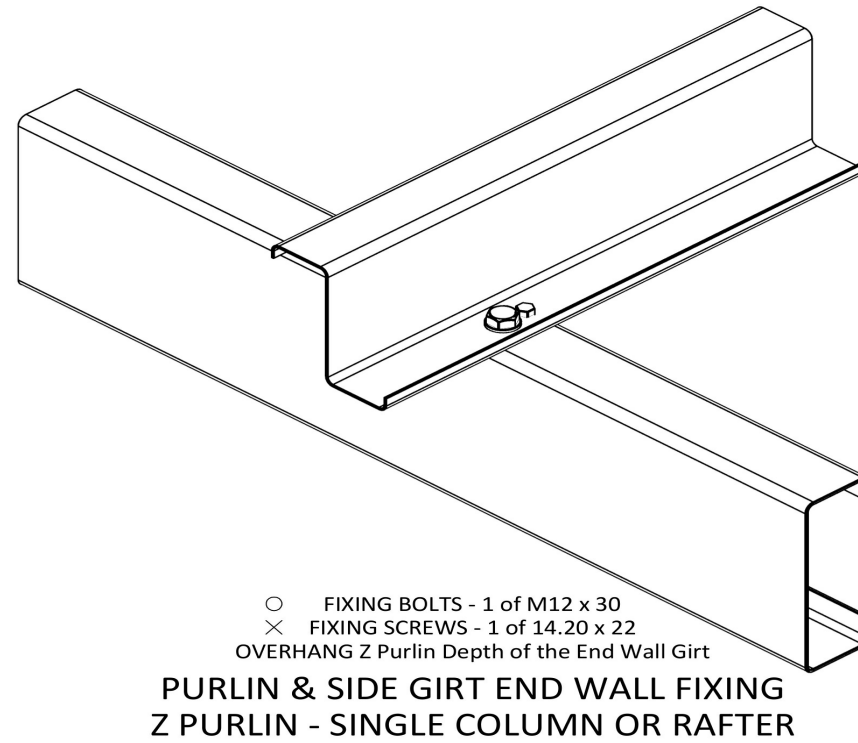
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 Practising Professional Structural & Civil Engineers

Signature:

Date: John Ronaldson

Date: 23/04/2026



Purchaser Name: Saiyan Energy

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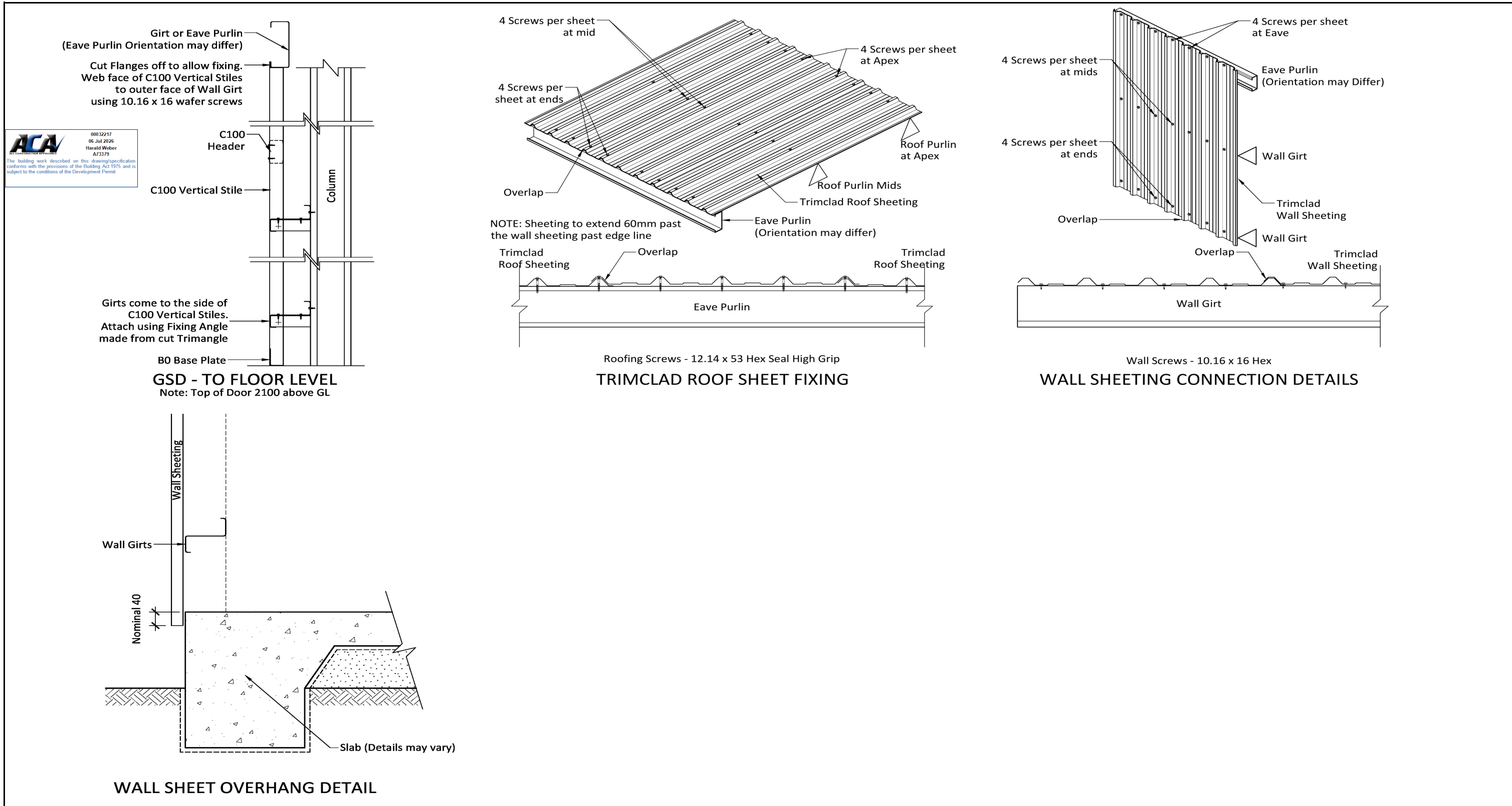
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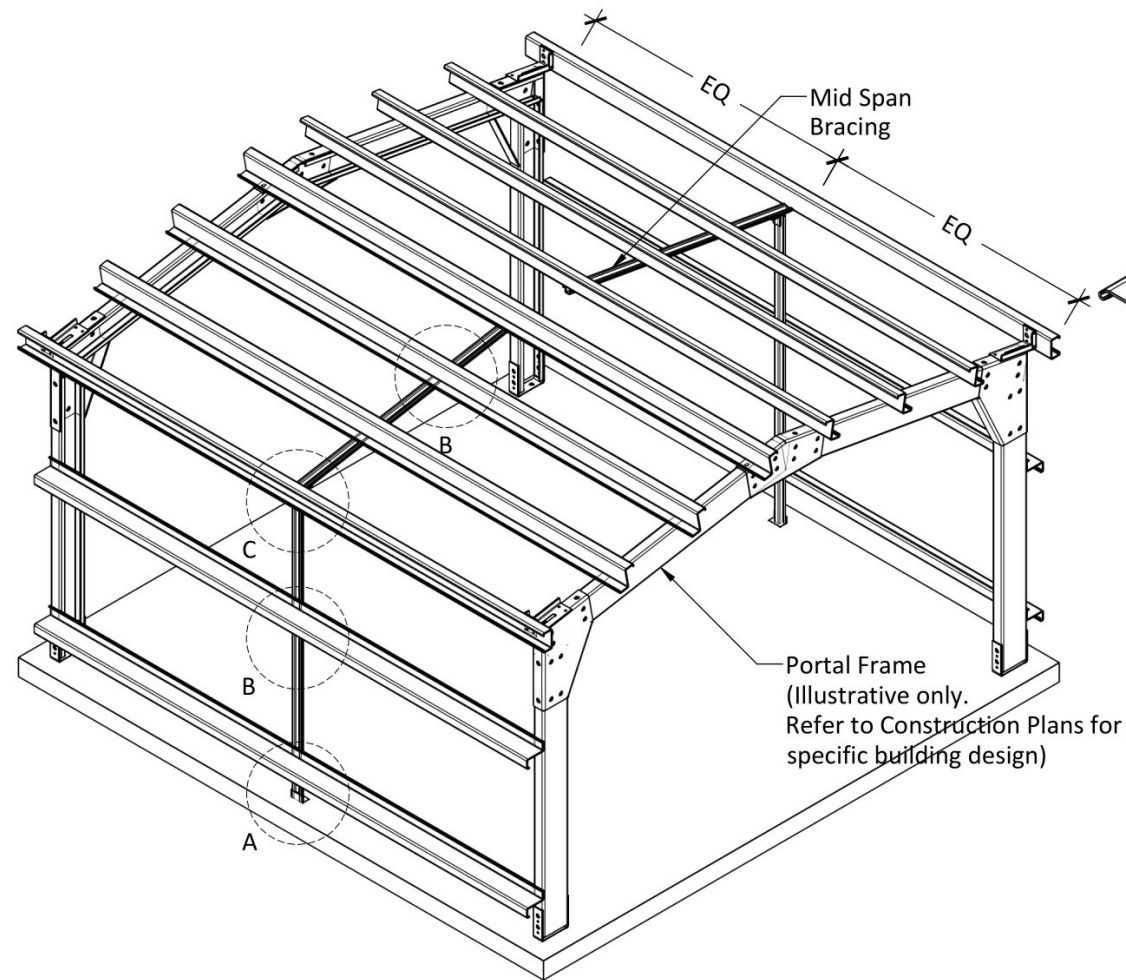
J. Ronaldson

Date: John Ronaldson

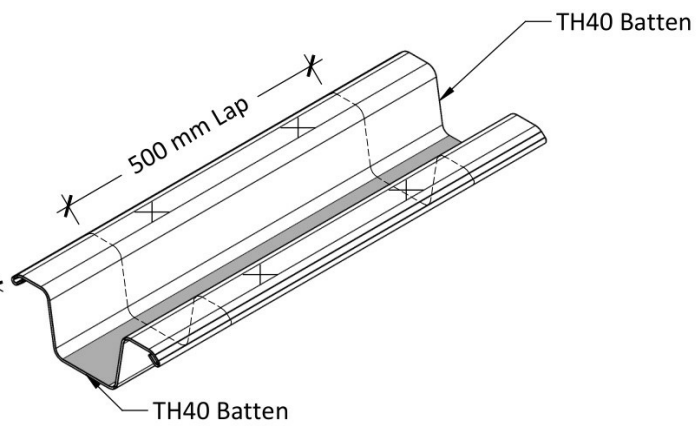
Date: 23/04/2026



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Site Location: 60 Brett Avenue HealyQLD 4825 Australia				
Drawing # WSS261120 - 8	Print Date: 23/04/2026			

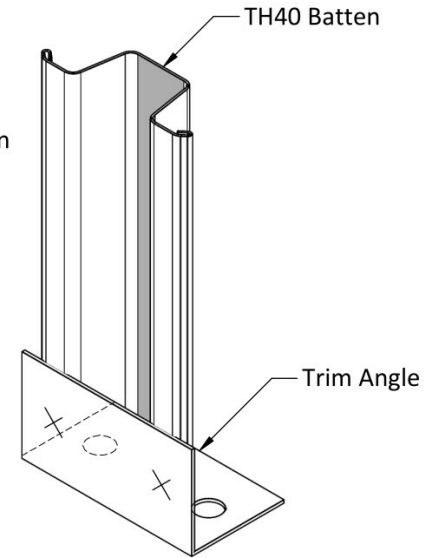


Note: Fix Bracing Strap first, then fix batten over Bracing Strap to maintain line.



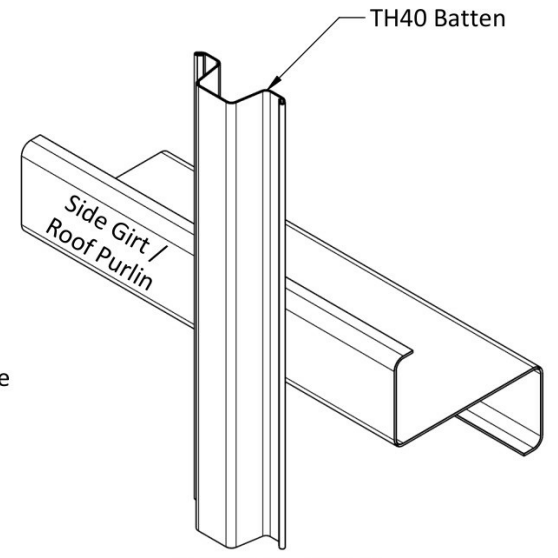
BATTEN OVERLAP

To extend battens,
Lap battens 500 mm with 4 screws



DETAIL AT A: BATTEN TO SLAB OR PIERS

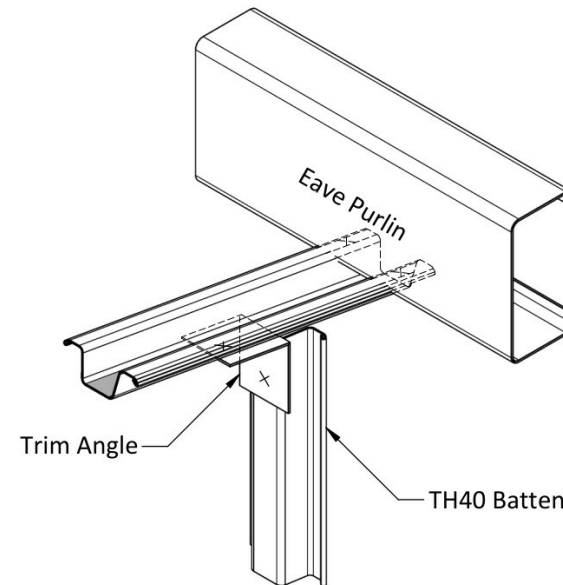
FIXING SCREWS: 2 of 14.20 x 22 to Bracket
FIXING BOLTS: 2 of M8 x 40 Dynabolts to Concrete
PIERS ONLY FINISH AT BOTTOM GIRT



DETAIL AT B: BATTEN TO GIRTS/PURLINS

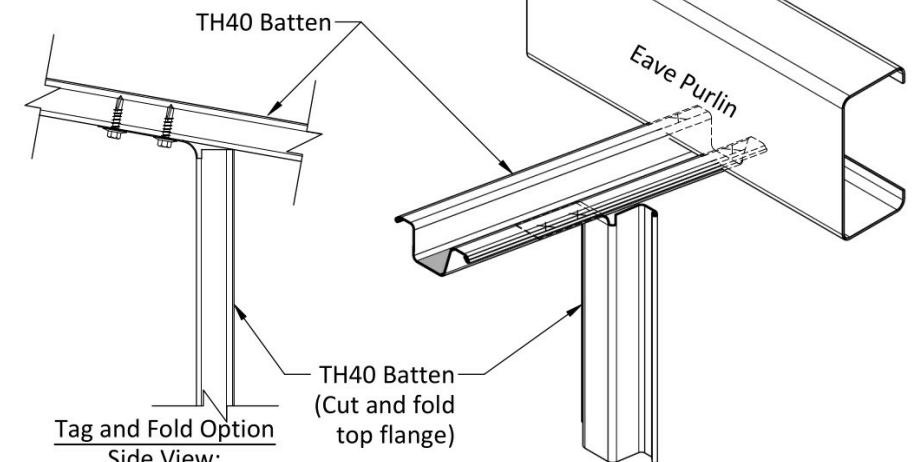
FIXING SCREWS: 2 of 14.20 x 22
to each Wall Girt or Roof Purlin

Illustrative Only:
Refer to specsheet for Bridging requirements and locations.
Bridging may not be required on both roof and walls as shown.
If Bridging is not in the specifications table it is not required



Trim Angle Option:

FIXING SCREWS: 2 of 14.20 x 22 to Bracket
FIXING SCREWS: 2 of 14.20 x 22 to Eave Purlin



DETAIL AT C: BATTEN TO EAVE PURLIN

FIXING SCREWS: 2 of 14.20 x 22 to Batten
FIXING SCREWS: 2 of 14.20 x 22 to Eave Purlin

Where possible, use Trim Angle or attach the Roof Bridging to the Eave Purlin

WALL AND ROOF BRIDGING

Purchaser Name: Saiyan Energy

Site Location: 60 Brett Avenue Healy QLD 4825 Australia

Drawing # WSS261120 - 8

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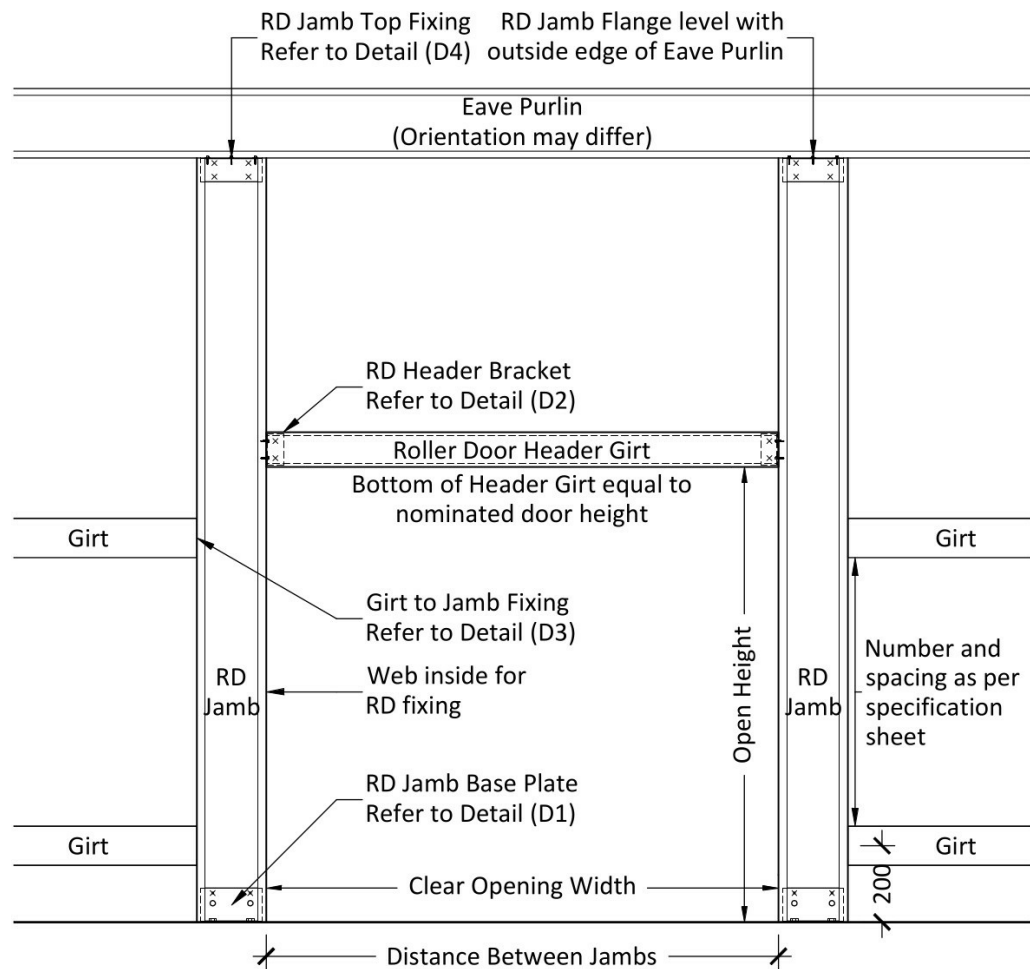
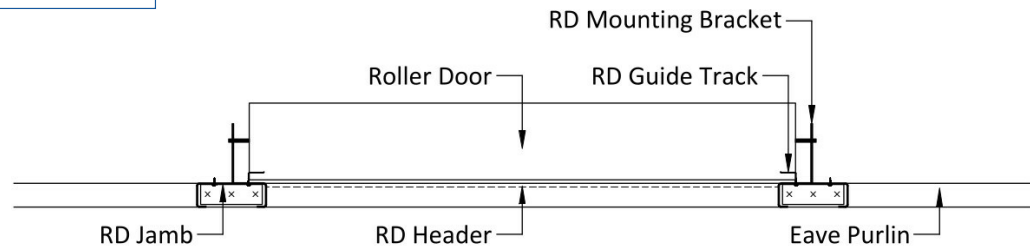
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QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

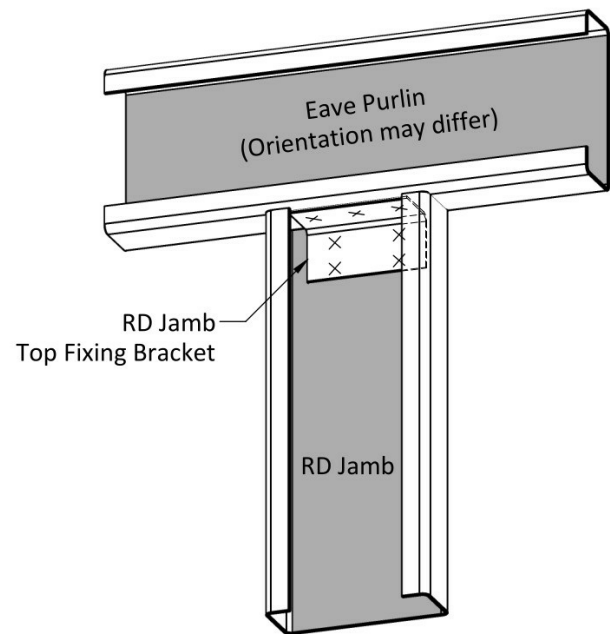
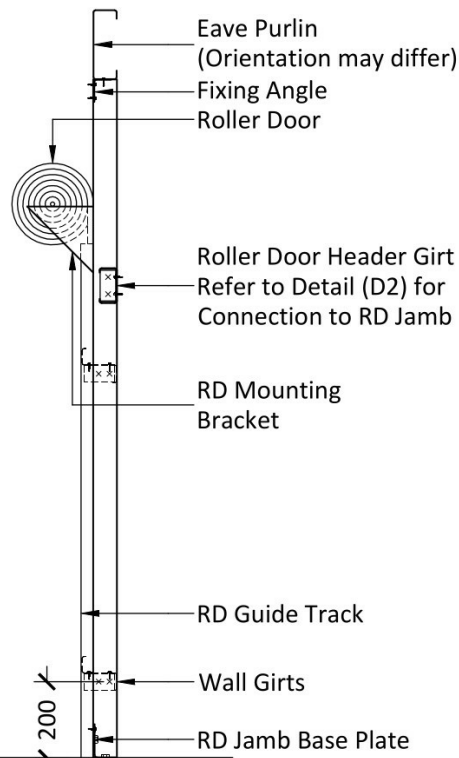
J. Ronaldson

Date: John Ronaldson

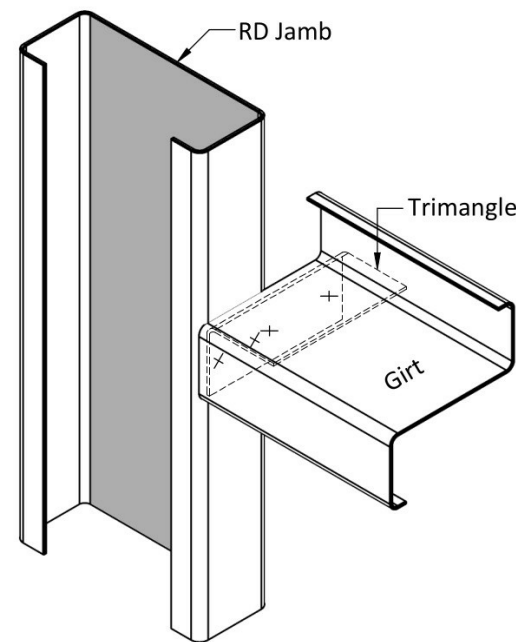
Date: 23/04/2026



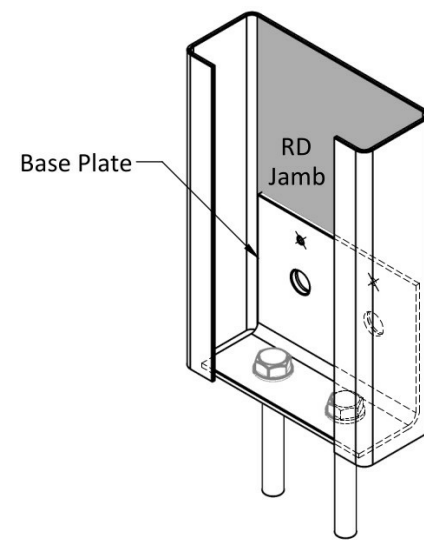
Door Width	Max Opening
≤3.1m	Door Width -50mm
>3.1m or ≤5.1m	Door Width -100mm



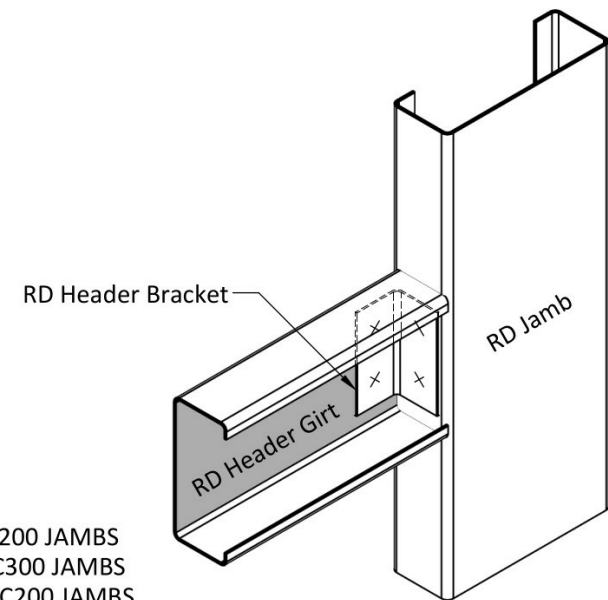
× FIXING SCREWS - 7 of 14.20 x 22
 DETAIL (D4) - RD JAMB TOP FIXING



× FIXING SCREWS - 4 of 14.20 x 22
 DETAIL (D3) - GIRT FIXING TO RD JAMB



2 of M12 x 75 DYNABOLTS - FOR C150 & C200 JAMBS
 2 of M16 x 110 DYNABOLTS - FOR C250 & C300 JAMBS
 ○ FIXING BOLTS - 2 of M12 x 30 - FOR C150 & C200 JAMBS
 ○ FIXING BOLTS - 2 of M16 x 30 - FOR C250 & C300 JAMBS
 × FIXING SCREWS - 2 of 14.20 x 22
 DETAIL (D1) - RD JAMB BASE PLATE



× FIXING SCREWS - 4 of 14.20 x 22
 DETAIL (D2) - RD HEADER GIRT FIXING

SIDE WALL ROLLER DOOR - FIXED TO EAVE PURLIN

Purchaser Name: Saiyan Energy

Site Location: 60 Brett Avenue Healy QLD 4825 Australia

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 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;
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Signature:



Date: John Ronaldson

Date: 23/04/2026

Fixing Instructions

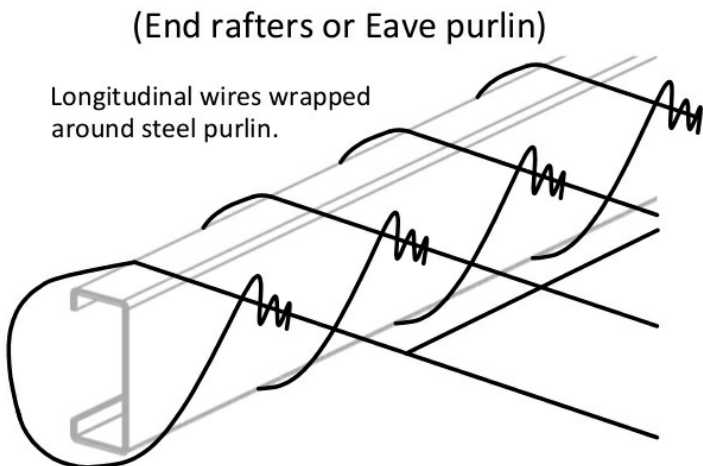
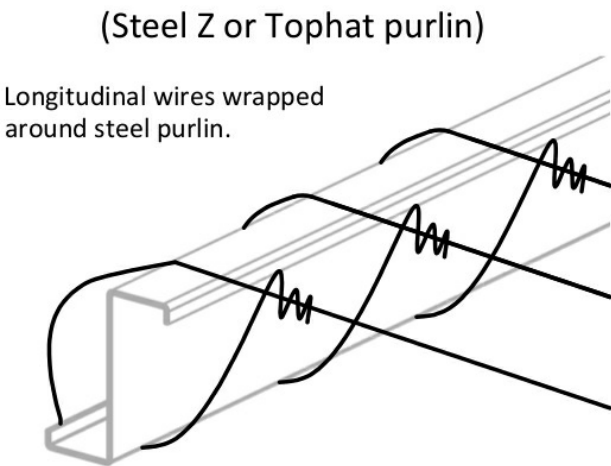
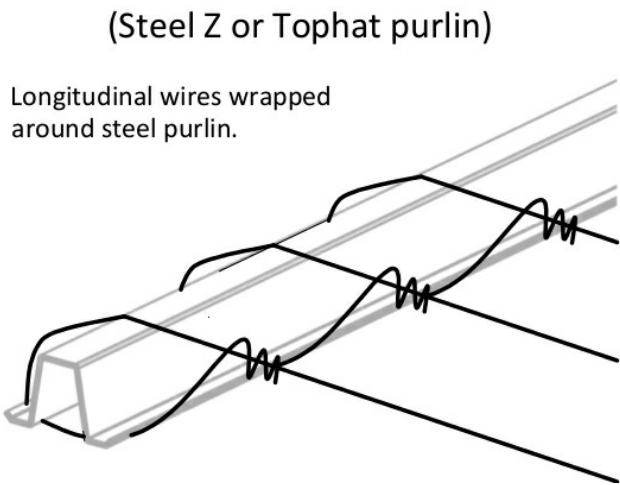
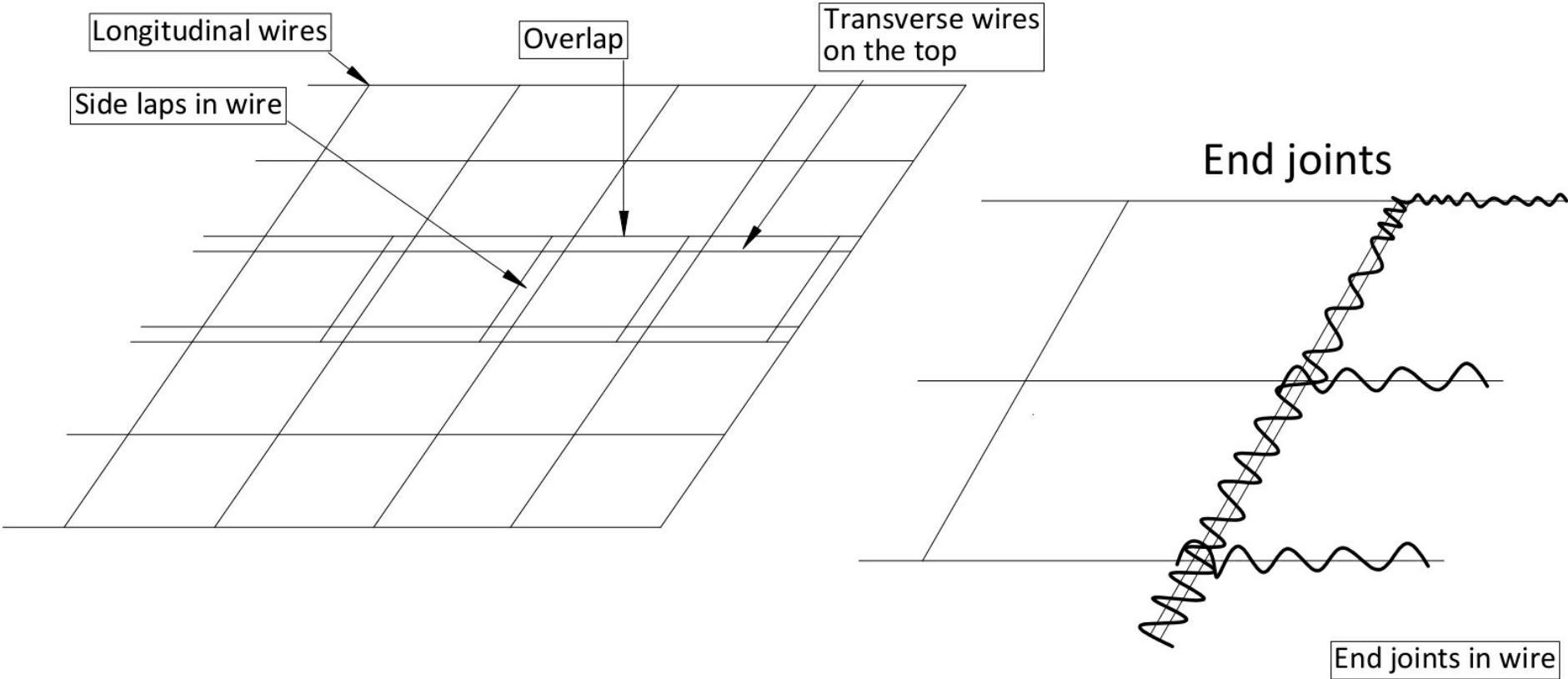
Transverse wires shall be on top of the longitudinal wires

All Longitudinal wires passed around anchor points with the tail of each wire being twisted four times around the main portion of the same wire.

End joints in wire, two transverse wires are placed together, the longitudinal tail wires (approx 300mm long) are tied around each other, one being twisted four times around the main portion of the same wire, the other longitudinal wire twisted once around the main portion of the same wire then four times around the transverse wires.

Side laps (i) For purlin spacing span/less than 1200mm, the runs of mesh shall be side-lapped by a minimum of one mesh spacing (150mm). (ii) For purlin spacing/span between 1200-2200mm, the runs of mesh shall be side-lapped by a minimum of one mesh spacing (150mm). Side laps shall be secured with ring fasteners fabricated from minimum 1.90mm diameter wire, or equivalent. fitted at maximum 900mm centres between each purlin on one side of the lap (iii) For purlin spacing/span greater than 2200mm, the runs of mesh shall be side-lapped by a minimum of two mesh spacing (300mm). Side laps shall be secured with ring fasteners fabricated from minimum 1.90mm diameter wire, or equivalent, fitted at maximum 600mm centers between purlin/span on both sides of the lap.

Toughness. Mesh shall be pulled taut to ensure only natural sag between each purlin or roof member.



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Drawing # WSS261120 - 8

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Connection Details
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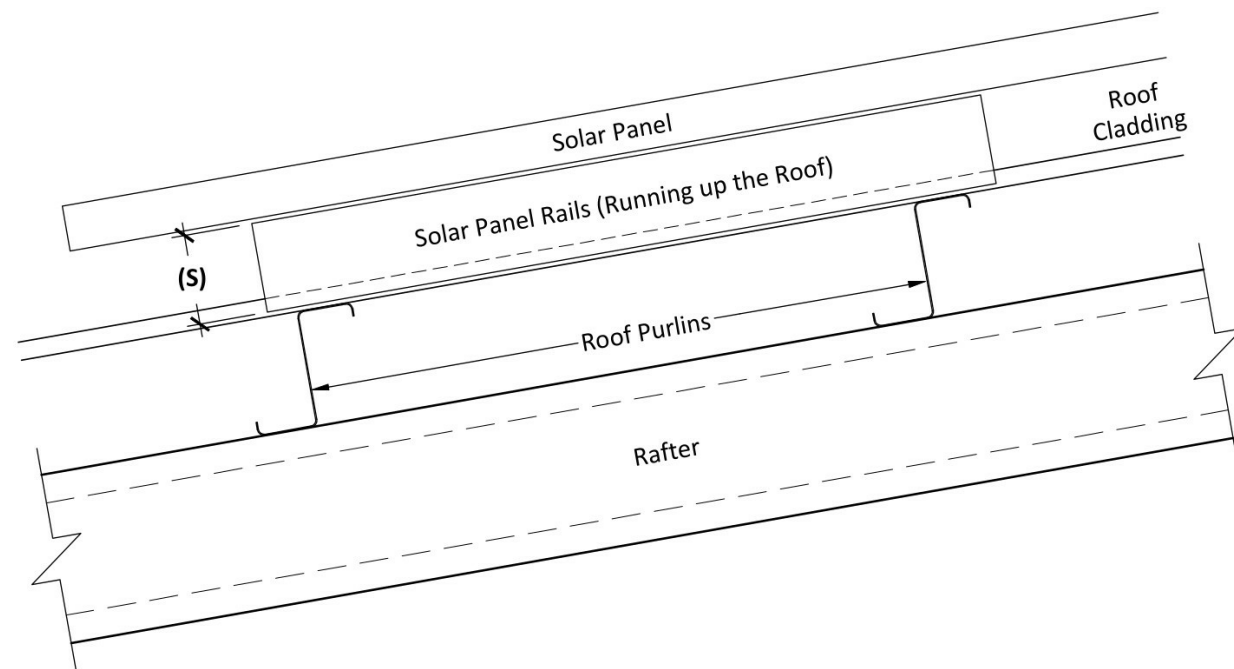
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Wide Span Sheds Pty Ltd
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Date: John Ronaldson

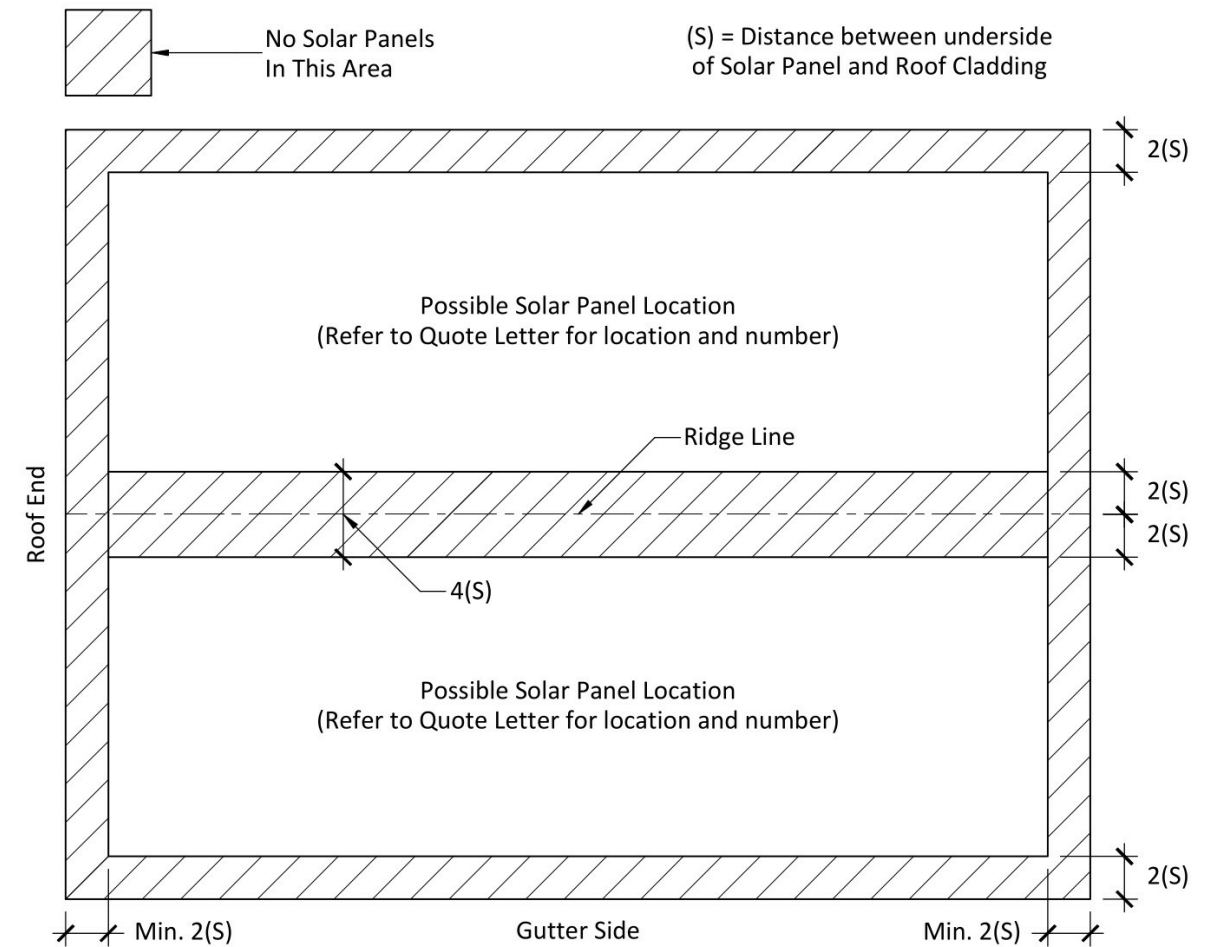
Date: 23/04/2026



DETAIL A

Notes:

- *This design is based on the requirements of AS/NZS 1170.2-2021 Clause B.6
- *Solar Panels must be attached Parallel to the Roof
- *The Gap between the underside of the panel and the roof (S) is to be between 50 mm and 300 mm (No Pitched Frames)
- *The minimum distance from a roof edge to the panel shall be 2(S) - Refer to Solar Panel Connection Detail A
- *The maximum weight of the Solar Panels and fixings is 15kg/m²



PLAN VIEW

SOLAR PANEL CONNECTION DETAILS

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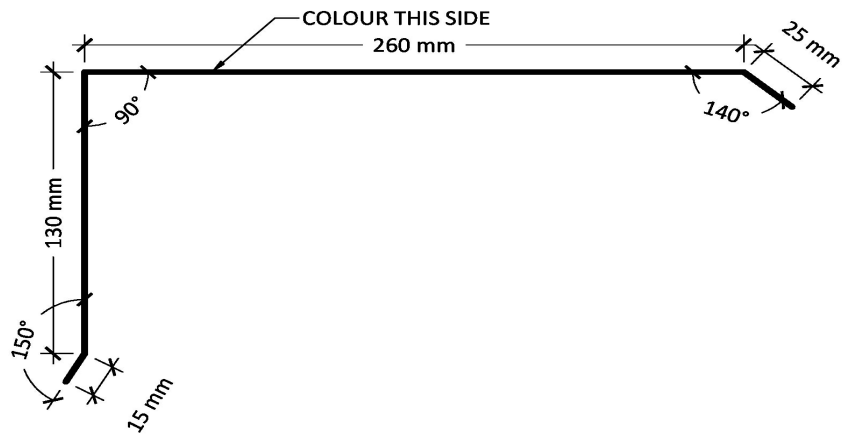
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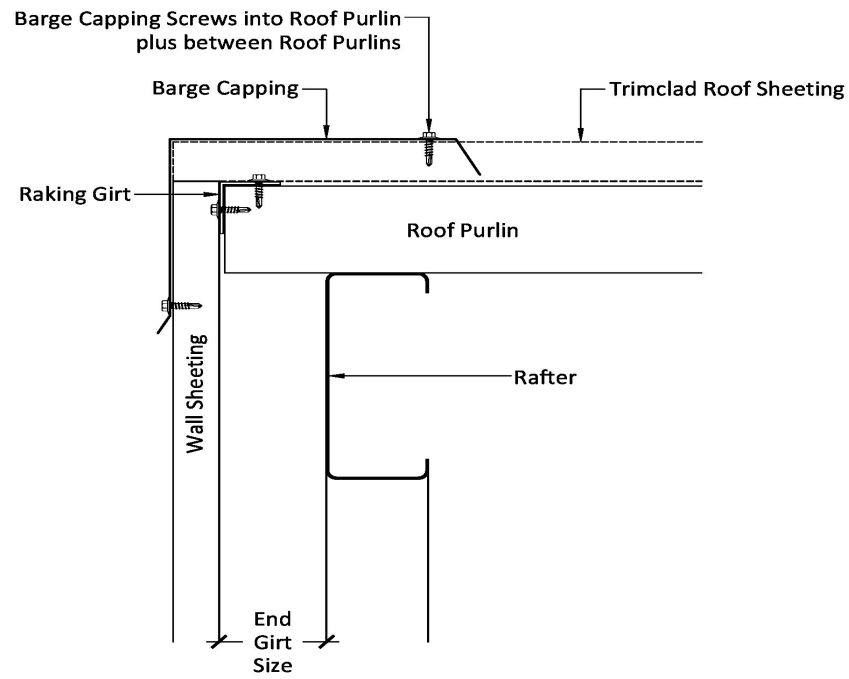
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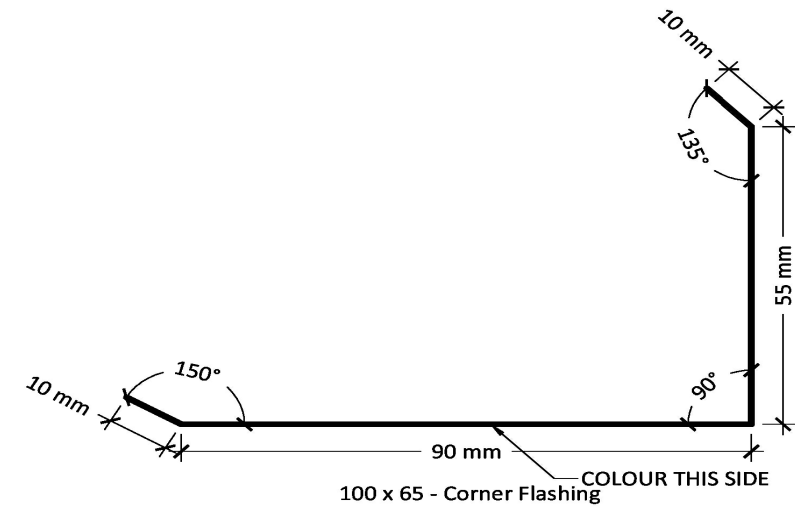
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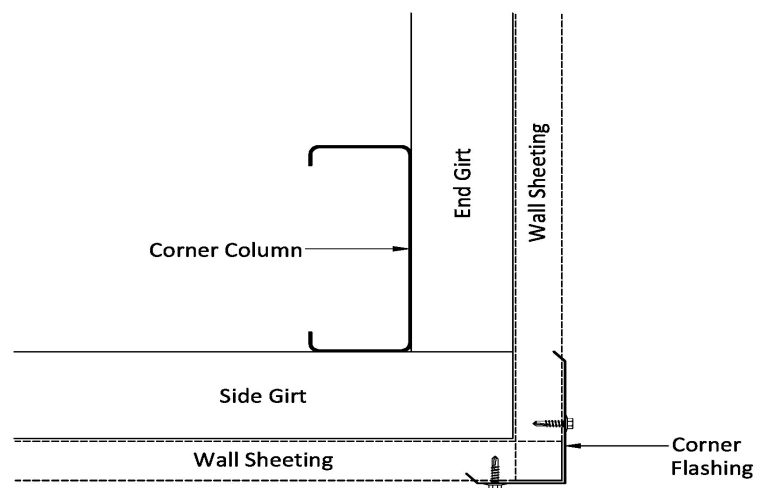
Barge Capping - Trimclad TH64/Z100
A-BARGE-2



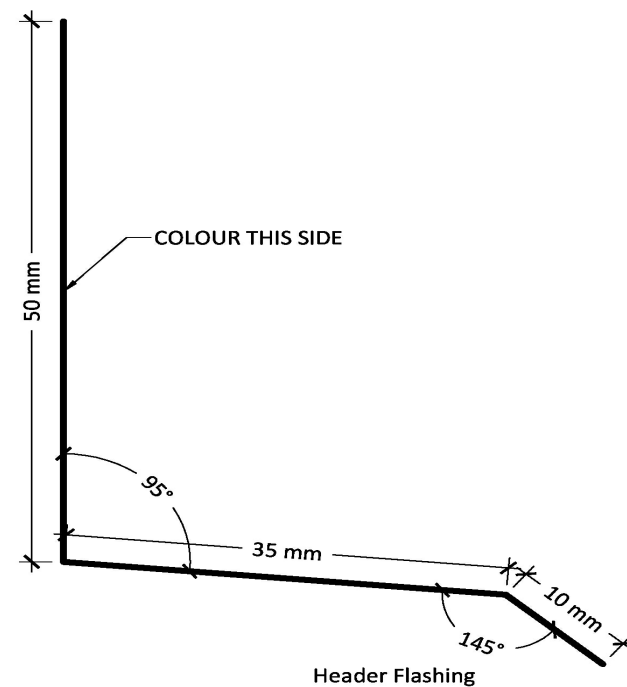
Barge Capping - A-BARGE-2 - Sheeting Gable



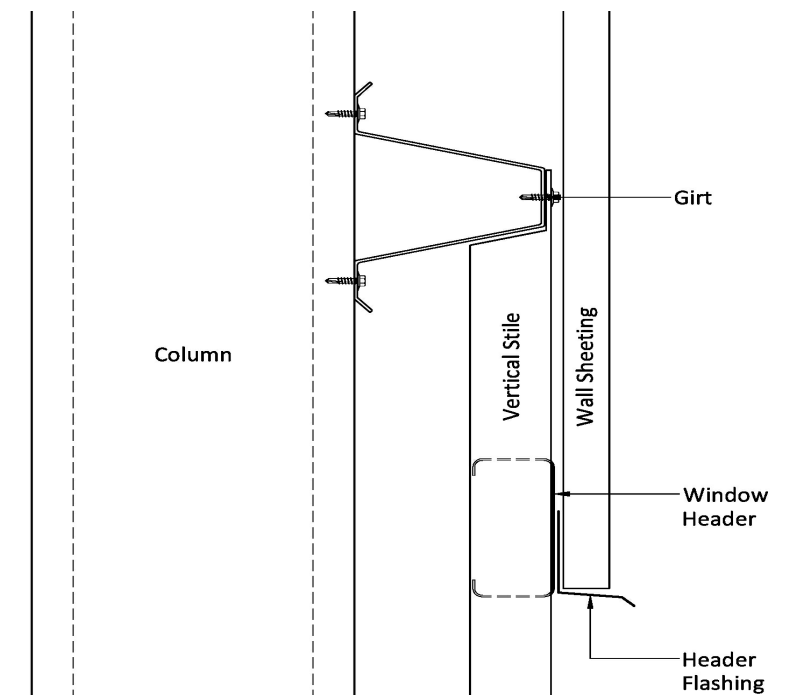
A-CNR-EXT-A-2



Corner Flashing - A-CNR-EXT-A-2



A-HEADER-2



Window Header Flashing - A-HEADER-2

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Flashing Fixing Details
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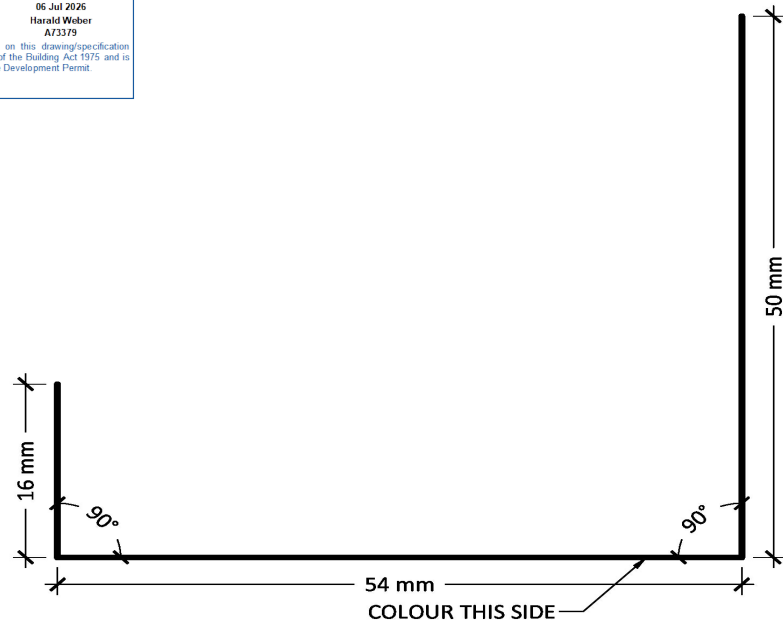
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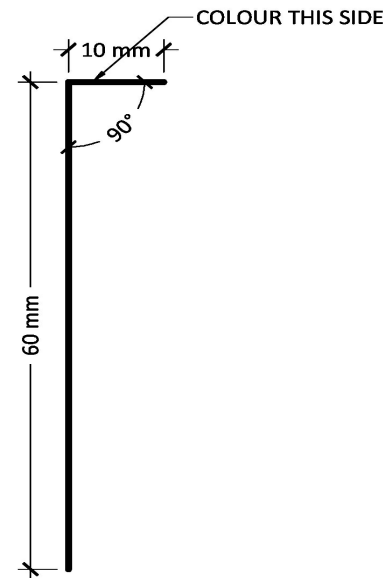
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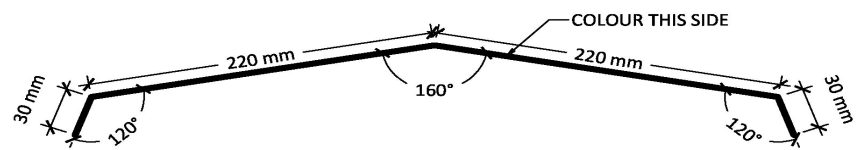
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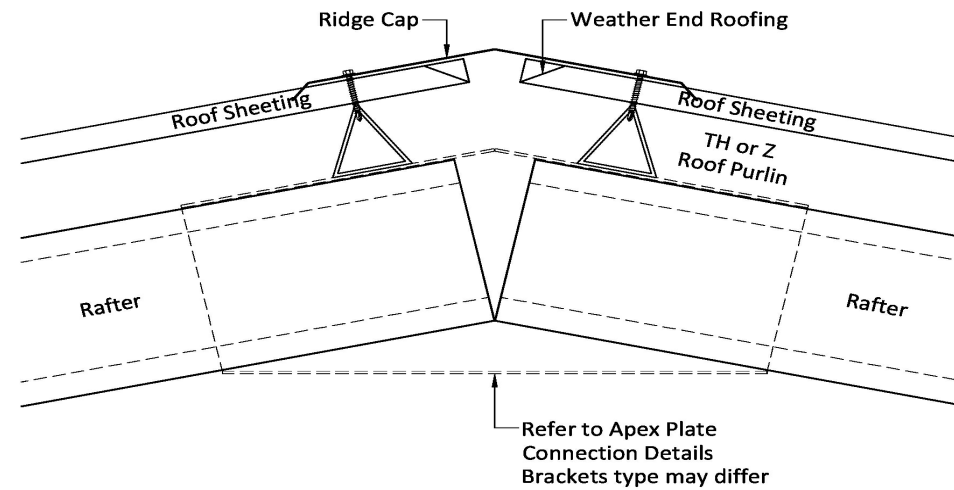
C100 RD Head Cover Flashing
A-RDH-C-F-0



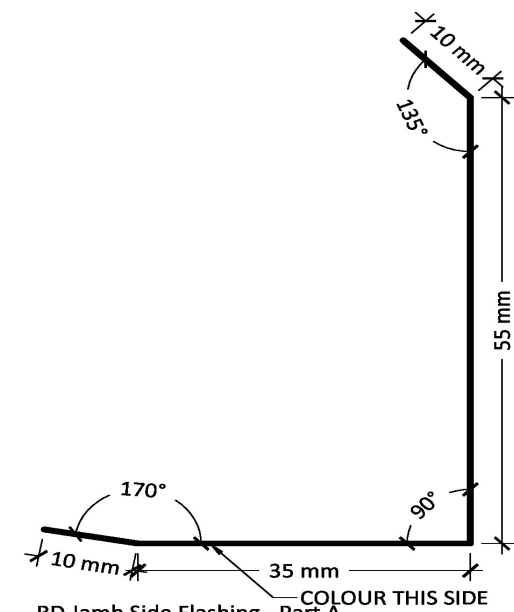
RD Side - Part B
A-RDJAMB-B



10° Ridge Capping - Z - Trimclad
A-RIDGE-B-1-2



Ridge Cap - A-RIDGE-B-1-2



RD Jamb Side Flashing - Part A
B-RDJAMB-F-A-X-1

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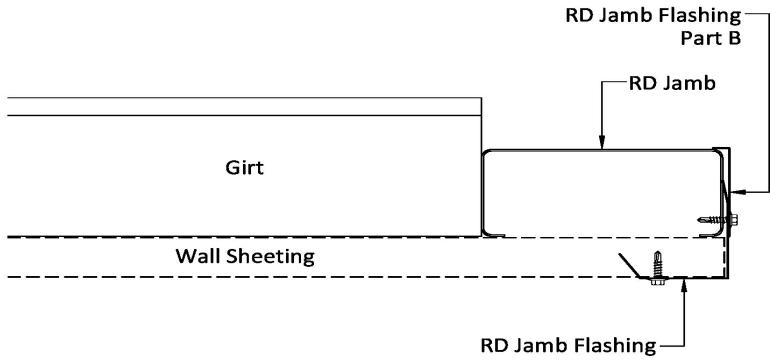
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Date: 23/04/2026

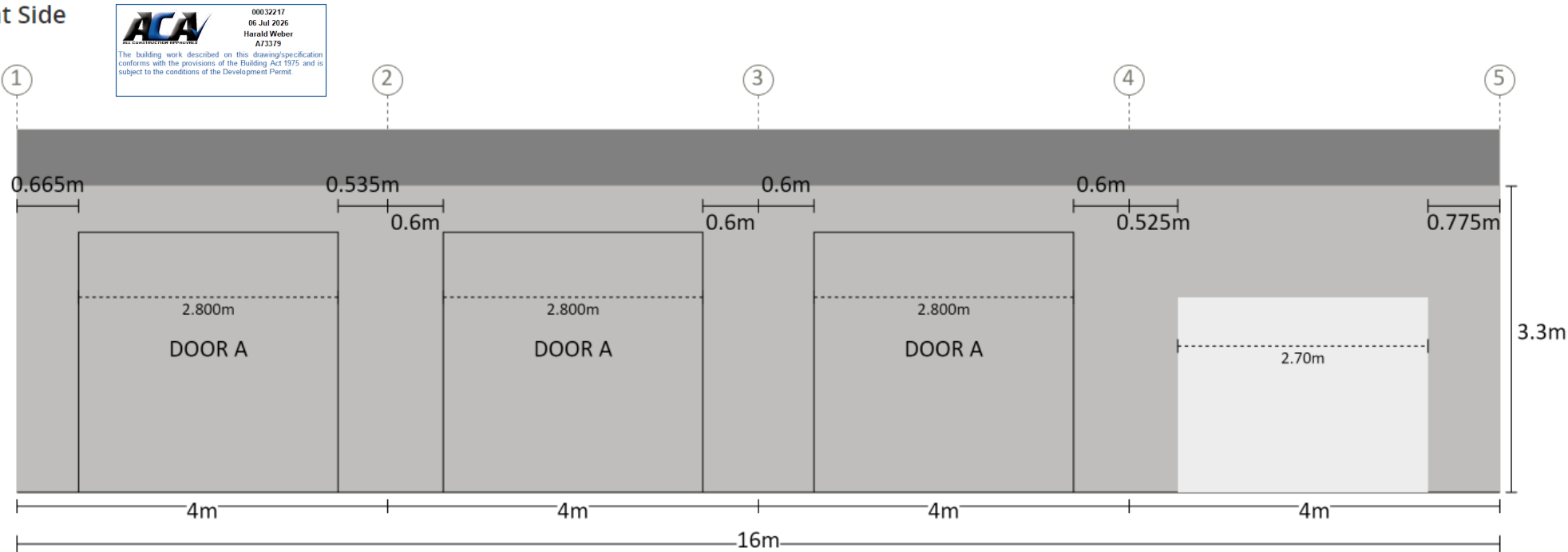


Roller Door Jamb Flashing - B-RDJAMB-F-A-X-1

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Drawing # WSS261120 - 9	Print Date: 23/04/2026				

This setout is provided as a guide only. It is the responsibility of the concreter/erector to confirm that all dimensions are correct.

Right Side



Measurements are from the outside of end girts (end bays) and/or centre of columns (mid bays) to inside of component opening size.

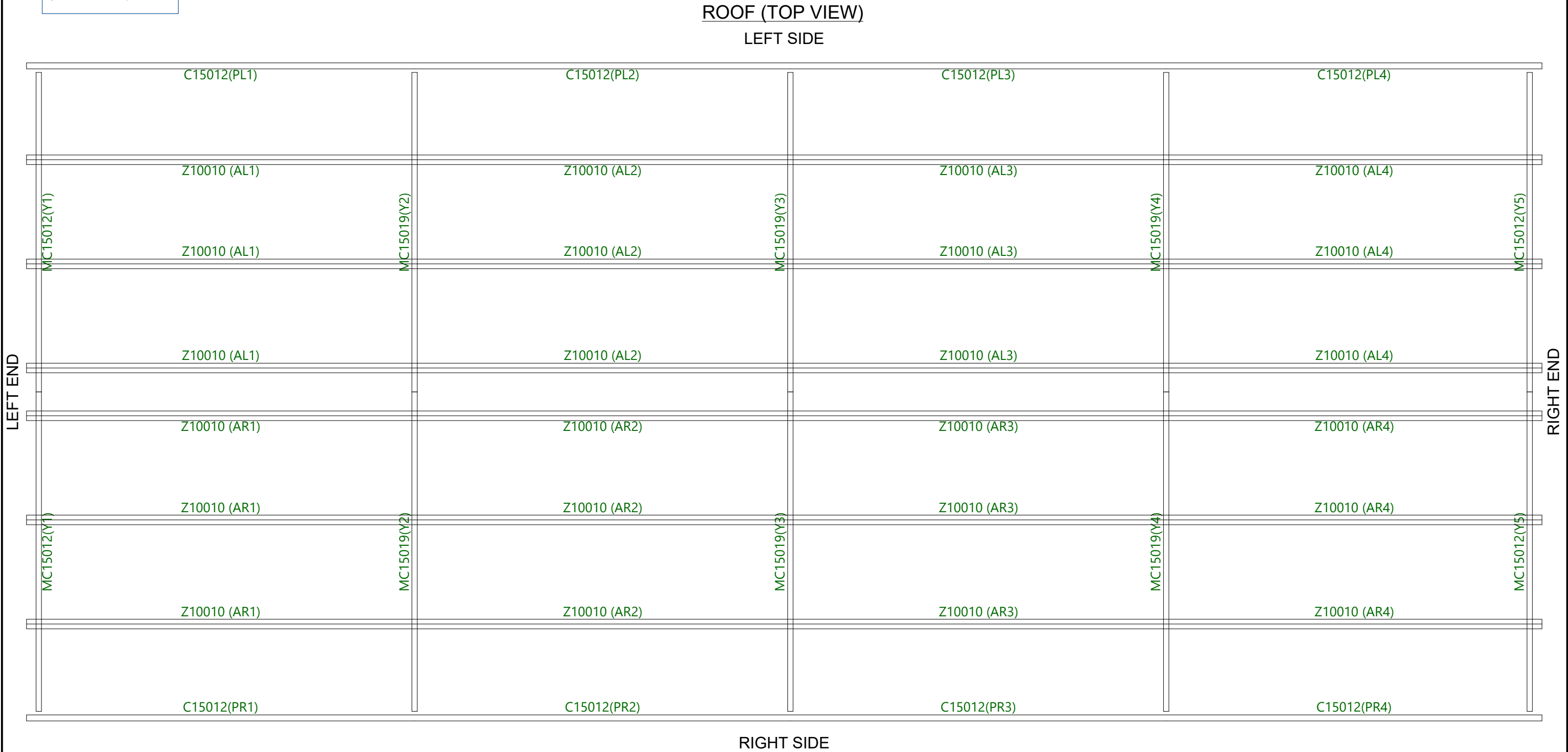
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Site Location: 60 Brett Avenue Healy QLD 4825 Australia				Signature:  Date: John Ronaldson Date: 23/04/2026
Drawing # WSS261120 - 10	Print Date: 23/04/2026			



00032217
06 Jul 2026
Harald Weber
A73379

The building work described on this drawing/specification conforms with the provisions of the Building Act 1975 and is subject to the conditions of the Development Permit.

Notes:
Brackets are not shown. Refer to Specification Details for more information. Opening members not labeled.

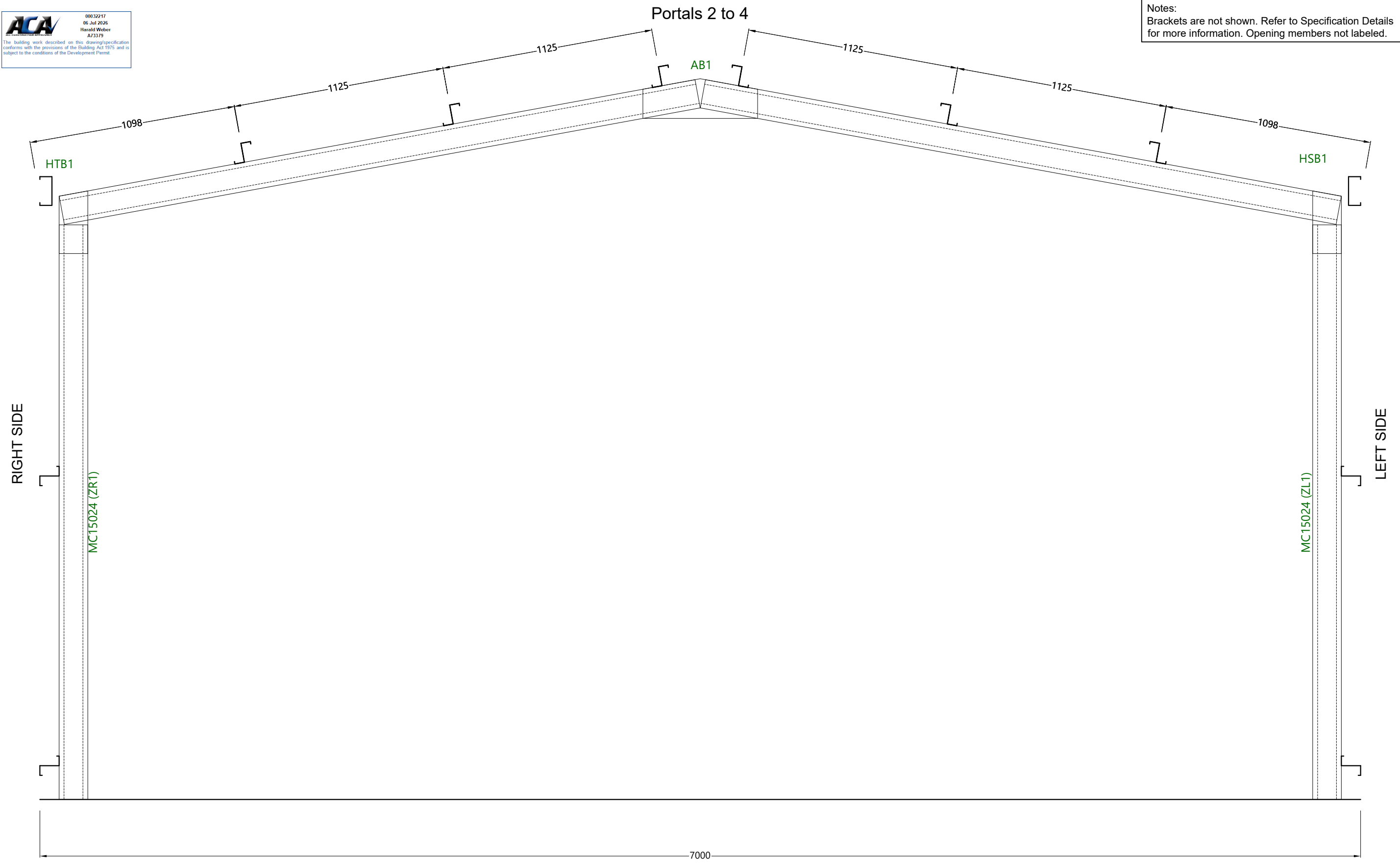




00032217
06 Jul 2025
Harald Weber
A73379

The building work described on this drawing/specification conforms with the provisions of the Building Act 1975 and is subject to the conditions of the Development Permit.

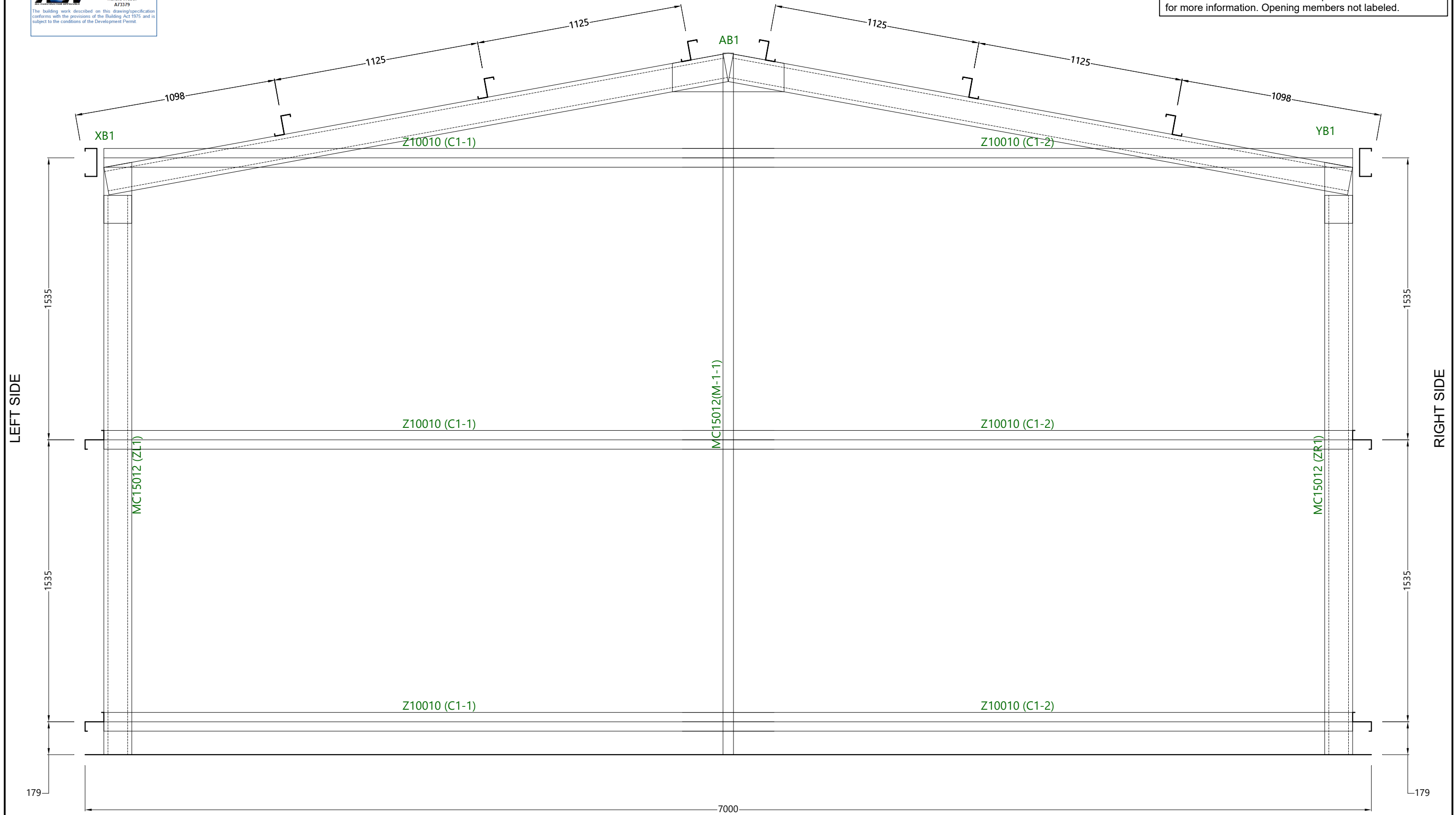
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LEFT END ELEVATION

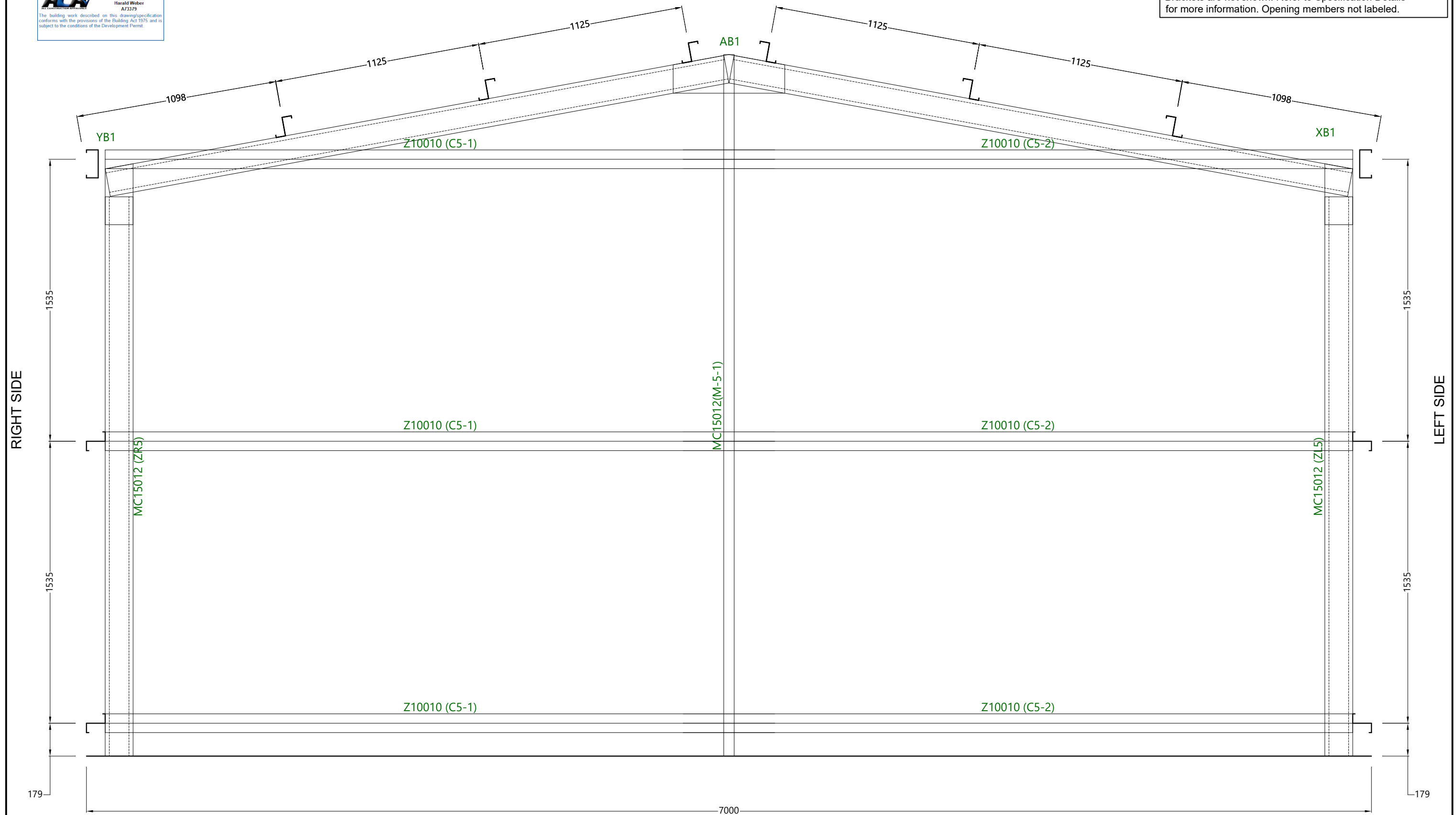
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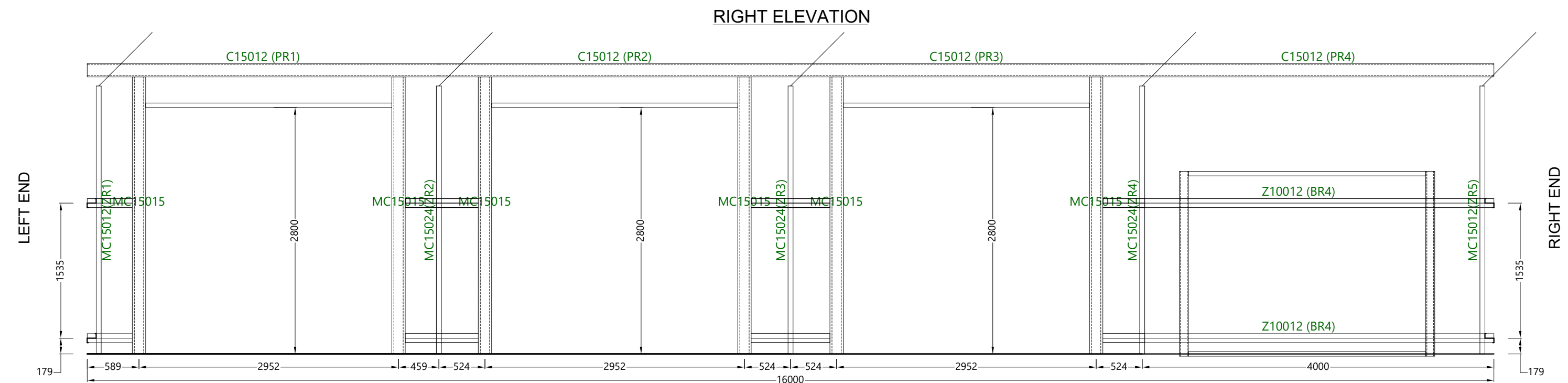
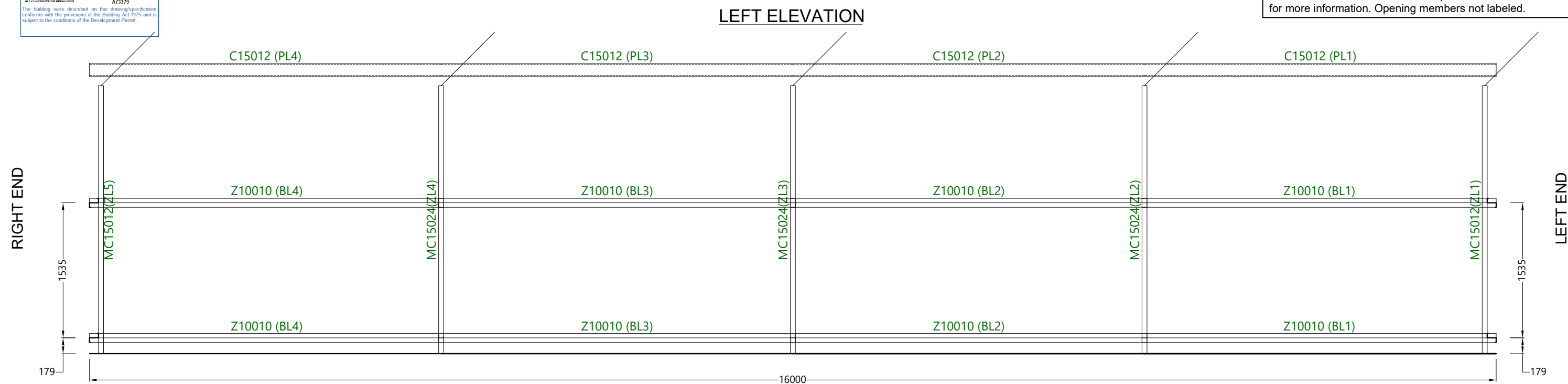
RIGHT END ELEVATION

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			Site Location: 60 Brett Avenue Healy QLD 4825 Australia	
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Purlin and Girt Plan

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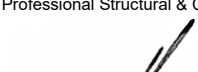
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Date: 23/04/2026

Appendix 3 – Street View Image



Appendix 4 – Zoning Map



 Low Density Residential